

The City of Berwyn is now in Phase 4 of the COVID-19 Restore Illinois Plan. Gov. Pritzker's Executive Order 2020-43 now allows the public to attend public meetings. Capacity for meetings is limited to the "lesser of 50 attendees or fifty percent of room capacity". State law allows Elected Officials to remotely participate in meetings under a declared State Emergency. (P.A. 101-0640). The Mayor and City Council welcome you to attend City Council meetings. Seating will be limited. Please note: comments are permitted only during Open Forum portion of the agenda and only for items not already on the agenda.

**PUBLIC PARTICIPATION: PLEASE READ**

Staff will live-stream the meeting. View the meeting on the City's Face Book page, website and on YouTube. Any person wishing to submit comments for the Open Forum for this or future meetings may do so in writing, by e-mail, or by telephone. Your comments will be announced during the Open Forum section of the meeting. You may submit your comments to Clerk Margaret Paul through the U.S. Mail at 6700 West 26th Street, Berwyn, IL 60402, by E-mail at [mpaul@ci.berwyn.il.us](mailto:mpaul@ci.berwyn.il.us) or by telephone at 708-749-6451. All comments received by 6:00 p.m. on Nov. 10, 2020 will be announced at this meeting. Comments received after the time limit will be placed on future City Council agendas. Please include a reference in your message that your comment is to be read at Open Forum.

**A. Pledge of Allegiance and Moment of Silence**

**B. Open Forum**

**C. Approval of Minutes:**

1. Regular City Council Meeting Minutes of October 27, 2020.

**D. Bid Openings: Nothing submitted.**

**E. Berwyn Township, Berwyn Health District, Berwyn Development Corporation: Nothing submitted.**

**F. Reports from the Mayor:**

1. Reappointment of Erika Corona-Owens, Maria G. Salinas, Marta Rodriguez and Emily Diebold as members of the Library Board.
2. Appointment of Nora Laureto to the Library Board.

**G. Reports from the Clerk:**

1. 2021 Regular City Council Meetings and Holiday Schedule.

**H. Zoning Boards of Appeals:**

1. Recommendation to Approve Special Use Permit with an **Ordinance** entitled: **An Ordinance Approving a Special use Permit for a Tattoo Parlor use within the C-2 Traditional Mixed-use Zoning District at the Address Commonly Known as 6910 W. Cermak Road, Berwyn, Illinois – Omar and Elizabeth Bates, D/B/A Berwyn Custom Tattoo Company.**
2. Recommendation to Deny the request for Setback Variation for a Second Story Bungalow Addition in the R-2 Bungalow Zoning District at 1628 S. Cuyler Avenue.

**I. Reports from the Aldermen, Committees, and Boards:**

1. Alderman Ramirez: Discuss recently sent duplicate water bills.
2. Alderman Santoy: October 15, 2020 Minutes for Budget and Finance Committee (Informational).
3. Police and Fire Commission: Appointment of Zachary Erdman as Berwyn Probationary Police Officer.
4. Police and Fire Commission: Appointment of Erica Mendoza as Berwyn Probationary Police Officer.
5. Police and Fire Commission: Appointment of Dominic Savino as Berwyn Probationary Police Officer
6. Police and Fire Commission: Appointment of Elias Galvan as Berwyn Probationary Police Officer.

**J. Reports from the Staff:**

1. Finance Director: Approval for Bond Refunding BMO Line of Credit Extension/Request Draw with an **Ordinance** entitled: **An Ordinance Authorizing and Providing for a \$3,850,000.00 revolving Line of Credit Loan from BMO Harris Bank N.A. to the City of Berwyn, Cook County, Illinois.**
2. Finance Director: Determination for Estimated 2020 Property Tax Levy (to be collected in 2021) (Informational).
3. PW Director: 2021 Motor Fuel Tax Salt Contract with a **Resolution** entitled: **A Resolution for Maintenance Under the Illinois Highway Code.**
4. PW Director: Request Approval for the 2021 Motor Fuel Tax Maintenance Resolution.

Berwyn City Council  
Regular Meeting – July 14, 2020  
Agenda

5. Legal/Engineering: Submittal of a Grant Application for IL Transportation Enhancement Program (ITEP) funds for 34<sup>th</sup> Street Improvements with a **Resolution** entitled: **A Resolution of the City of Berwyn, Cook County, Illinois Authorizing Submittal of a Grant Application for Illinois Transportation Enhancement Program Funds for the 34<sup>th</sup> Street Corridor Improvement Project.**
6. Legal/Engineering: Submittal of a Grant Application for IL Transportation Enhancement Program (ITEP) funds for Access to Transit Improvement Project with a **Resolution** entitled: **A Resolution of the City of Berwyn, Cook County, Illinois Authorizing Submittal of a Grant Application for Illinois Transportation Enhancement Program Funds for the Access to Transit Improvement Project.**

**K. Consent Agenda:**

1. Payroll Oct 28, 2020: \$1,182,490.57 (Informational).
2. Payables: Oct 29, 2020 thru Nov 11, 2020: \$1,438,385.99 (Informational).
3. Building Dir.: Building and Local Improvement Permits – Oct 2020 (Informational)
4. Fin Dir.: List of Business Licenses Issued in July-Oct 2020 (Informational).
5. Fin Dir.: Ord Fines Collected by COB in July-Oct 2020 \$59,665.00 (Informational).
6. Fin Dir.: Compliance Tickets Collected by BPD in July-Oct 2020 - \$32,265.00 (Informational).
7. Fin Dir.: Parking Tickets Collected by COB in July-Oct 2020 - \$529,335.50 (Informational).
8. Fin Dir.: Seizure & Impound Fees Collected by BPD July-Oct 2020 - \$46,500.00 (Informational).
9. Fin Dir.: Court Fines Collected by the Municipal Dept. of Circuit Court July-Oct 2020 - \$6,273.00 (Informational).
10. Fin Dir.: Ord Fines Collected by COB Police Dept. July – Oct 2020 - \$8,430.00 (Informational).

**Committee / Ward Announcements**

**Adjournment**

  
\_\_\_\_\_  
Margaret Paul, City Clerk

No. of Items: 28





C-1

## Berwyn City Council Regular Meeting

October 27, 2020 at 8:00 PM

Clerk's Note: Governor Pritzker's continuing emergency Executive Orders allow the suspension of "in-person attendance" by elected officials and limit the number of people allowed to congregate in public places due to the Covid-19 pandemic. The City of Berwyn uses best efforts to comply with the Governor's Orders and the spirit of the Open Meetings Act. The City Council has taken the following measures to provide residents with the ability to observe and participate in the meeting through a live video stream:

- The City posts Meeting Notices and Agendas on its website and in City Hall with directions on how the public may view meetings, participate in public meetings, and address the City Council during Open Forum.
- The City posts directions to the public on its Face Book page on how they may participate and or view the public meeting.
- City staff live-stream the meeting on the City of Berwyn website ([www.berwyn-il.us](http://www.berwyn-il.us)), Berwyn Facebook page, and YouTube during the City Council meeting. The video stream / audio is recorded and available to the public.

### **A. Roll Call, Pledge of Allegiance, and Moment of Silence:**

Mayor Lovero, present in chambers, called the meeting to Order at 8:00 p.m. Aldermen Lennon, Ramirez, Reardon, Fejt, and Santoy attended in person and responded "Present" on the call of the roll. Aldermen Ruiz, Avila, and Nowak participated remotely and responded "Present" on the call of the roll. Treasurer Miranda also participated remotely. The attendees recited the Pledge of Allegiance. Mayor Lovero asked for a moment of silence recognizing our First Responders.

**B. Open Forum:** Mayor Lovero opened the floor for public comment. No one stepped forward. Open Forum was ended.

**C. Approval of Minutes:** Ald. Avila made the motion, seconded by Ald. Lennon, to approve the Minutes for the Committee of the Whole and the Regular City Council Meeting held on October 13, 2020 as submitted. The motion carried by a unanimous roll call vote.

**D. Bid Openings:** Nothing submitted for the agenda.

Ald. Lennon made the motion, seconded by Ald. Reardon, to bring forward items F-1 and F-2. The motion carried by a unanimous roll call vote.

F-1: Ald. Reardon made the motion, seconded by Ald. Lennon, to concur and adopt the Proclamation declaring October as Women's Small Business Month in the City of Berwyn. The motion carried by a unanimous roll call vote. Mayor Lovero presented copies of the Proclamation to women business owners in the audience.

F-2: Ald. Lennon made the motion, seconded by Ald. Fejt, to concur and adopt the Proclamation declaring April 1, 2020, and every decennial April 1<sup>st</sup>, as Census Day in Berwyn. The motion carried by a unanimous roll call vote. Mayor Lovero presented copies of the Proclamation to members of the Local Government Complete Count Committee, specifically Erie House, thanking them for their effort despite overwhelming obstacles presented by COVID-19. Claudia Ayala was thanked by all for her tireless work on this project.

Ald. Avila made the motion, seconded by Ald. Santoy to bring forward J-2. The motion carried by a unanimous roll call vote.

J-2: Ald. Avila made the motion, seconded by Ald. Lennon, to concur with Police Chief Cimaglia and appoint Steven M. Benker to the position of Superintendent of Auxiliary Police. The motion carried by a unanimous roll call vote.

- E. Berwyn Development Corporation:** Mayor Lovero recognized Berwyn Development Corporation Executive Director David Hulseberg. Mr. Hulseberg explained his recommendation that Council increase the amount for the new tier grant structure and maximum project award of \$23,500 for Finish Line Grants. Ald. Santoy made a motion, seconded by Ald. Lennon, to concur and **adopt** the Resolution entitled: **A Resolution Authorizing and Approving a New Tier Structure and Maximum Grant Award for the Berwyn Development Corporation Finish Line Grant Program for the City of Berwyn, County of Cook, State of Illinois.** The motion carried by a unanimous roll call vote.
- F. Reports from the Mayor:** See F-1 and F-2 above.
- G. Reports from the Clerk:** Ald. Reardon made the motion, seconded by Ald. Fejt, to correct the record and identify the property authorized for demolition on October 13, 2020 as 3112.5 South Oak Park Avenue and not 3125 South Oak Park Avenue as previously misidentified by Ald. Fejt, and authorize the Building Department Director to proceed with the demolition. The motion carried by a unanimous roll call vote.
- H. Zoning Boards of Appeals:** Nothing submitted.
- I. Reports from the Aldermen, Committees, and Boards:**  
I-1: Ald. Ramirez made the motion, seconded by Ald. Lennon, to override staff recommendations and approve the Handicap Parking application for a space to be located at 3813 S. Highland Avenue. The motion carried by a unanimous roll call vote.  
  
I-2: Ald. Santoy made the motion, seconded by Ald. Lennon, to mark his communication regarding the Minutes of the Budget and Finance Committee of October 8, 2020 as informational. The motion carried by a unanimous roll call vote.
- J. Reports from the Staff:**  
J-1: Ald. Santoy made the motion, seconded by Ald. Lennon, to mark the communication from Finance Director Daish as informational. The motion carried by a unanimous roll call vote.  
  
J-2: See J-2 above.  
  
J-3: Ald. Avila made the motion, seconded by Ald. Nowak, to approve as submitted Police Chief Cimaglia's request to hire four Probationary Police Officers. The motion carried with 7 Aldermen voting AYE and 1 Alderman (Reardon) voting NAY.
- K. Consent Agenda:** Ald. Avila made the motion, seconded by Ald. Lennon, to approve the Consent Agenda (Items K1 and K2) by omnibus designation. The motion carried by a unanimous voice vote.

Aldermanic Committees: Ald. Santoy called Budget and Finance Committee meetings for 10/2/, 10/29, and 11/5 to be held at City Hall at 5:30 p.m.

**Adjournment:** Ald. Nowak made the motion, seconded by Ald. Lennon, to adjourn the meeting. The motion carried by a unanimous voice vote.

The meeting adjourned at 8:35 p.m.

Respectfully submitted

  
Margaret Paul, City Clerk



The City of Berwyn



Robert J. Lovero  
Mayor

A Century of Progress with Pride

November 10, 2020

F-1

Members of City Council

**Re: Berwyn Library Board Reappointments**

Council Members:

I am seeking to reappoint the following persons as members of the Library Board:

Erika Corona-Owens

Maria G. Salinas

Marta Rodriguez

Emily Diebold

The above Library Board members will serve a three year term as of November 10, 2020.

I would ask that City Council concur in my recommendation and approve the reappointments.

Respectfully,

A handwritten signature in blue ink, appearing to read "R. J. Lovero", is written over a faint, larger version of the same signature.

Robert J. Lovero  
Mayor

**The City of Berwyn**



**Robert J. Lovero**  
Mayor

F-2

**A Century of Progress with Pride**

November 10, 2020

Members of City Council

**Re: Appointment of Nora Laureto to the Library Board**

Council Members:

Library Board member Jousef Mondragon has recently notified me that he will be resigning from the Board. I would like to thank him for his many years of service, and wish him well with his future endeavors.

With this recent opening, I have identified Berwyn resident Nora Laureto as a qualified replacement. In addition to bringing forth her community organization experience to the board, Ms. Laureto is also a regular patron of the Berwyn Library. She is excited to be able to serve her community in this capacity. Attached is Ms. Laureto's resume.

I ask that you concur with my recommendation to appoint Nora Laureto to the Berwyn Library Board.

Respectfully,

A handwritten signature in blue ink, appearing to read "R. J. Lovero", is written over the word "Respectfully,".

Robert J. Lovero  
Mayor



Nora Laureto

Berwyn, IL 60402

I am a Lifelong Berwyn Resident, married to Tony Laureto for 43 years. I am the third generation in our family's bungalow and proud to have been a Berwyn resident for all my life. I have been active in the community since 1985. I attended St. Mary of Celle grammar school, Morton West High School and Morton College. I have recently retired after working for 22 years at the University of Chicago, Department of Orthopaedic Surgery.

My history of community involvement includes:

- Past President, [Youth Crossroads \(formerly Youth-in-Crisis\)](#)
- Member, [City of Berwyn](#) Blue Ribbon Committee for Historical Preservation
- Past Member, [Community Relations Commission](#) (Secretary)
- Member, Strategic Planning Committee, [Berwyn North District 98](#)
- Keeping Berwyn Beautiful Co-Chair 2001
- City of Berwyn 911 Memorial Committee
- Past Member, [Berwyn Zoning Board of Appeals](#)
- Past PTA President of Jefferson Elementary and Lincoln Middle Schools
- Past Assistant Cubmaster, Pack 41, Jefferson School
- Past Illinois District PTA #28 Scholarship Chairman (8 yrs.)
- Referendum Chairman for building additions at Lincoln Middle School and construction of Prairie Oak
- Berwyn Main Street Board Secretary 2006-08
- Member, Berwyn Woman's Club
- Member, [Berwyn Historical Society](#)
- Board Member, [Berwyn Development Corporation](#)
- Founding member, [Berwyn North Dist. 98 Educational Foundation](#)
- Past Member Roosevelt Road Special Events Committee with the Berwyn Development Corp. (BDC)
- Partnered with [Youth Crossroads](#) and [BAM](#) to work and sponsor the project "[Paint the Plugs](#)"- working together along with the Berwyn Fire Department, Local 506 Berwyn Firefighters, and Public Works to design and paint "characters" on the fire hydrants on Roosevelt Road.
- Helped fundraise the Lincoln Middle School Band's trip to Disney World with Band Director Tom Chester
- Worked with the Berwyn Development Corporation in the revitalization of Roosevelt Road
- Co-chair [Veltway events with the Veltway](#) members for events on Roosevelt Road (Green Mile, etc.)
- Co-chair [BDC](#) event [the Zombie Walk](#) on Roosevelt Road
- Cleaned Roosevelt Road in the spring with the [North Berwyn Park District's](#) Think Green initiative
- Sponsor [Little League team, Berwyn Little League](#)
- Sponsor and volunteer at all BDC functions (Oktoberfest, etc.)
- [Volunteer/sponsor for the Mayor's Holiday meals for families in Berwyn \(Thanksgiving/Christmas\)](#)
- Volunteer/sponsor for [Christmas with the Sailor's](#)
- Sponsor [Youth Crossroads](#) Youth Leadership Program/trip
- Sponsor Berwyn Library events, Fairy Tale Ball, Summer reading programs, etc.
- I (along with my husband) orchestrated and moved the statue "[Lincoln the Friendly Neighbor](#)" from Cermak Road to [Lincoln Middle School](#). This was a community involved project which

was even written up in the Chicago Tribune. A re-dedication was held after the move with hundreds attending the event from Berwyn and neighboring communities.

- I participated in the [North Berwyn Park District](#) on their [KaBoom park projects](#). I was the Food Chairman for all three events. Building these parks in a day was just amazing!
- Award Recipient by the [Illinois State Board of Education-Those Who Excel-1996-97 for community involvement](#)
- [Youth-in-Crisis](#), Cornerstone of Youth Award, 2001
- [BUNGALO](#) Founders Award, 2008
- 2016 [Charles Piper Award from the Berwyn Development Corporation for outstanding dedication to Berwyn's Business Community](#)
- [2016 Youth Crossroads Youth Support Award for Outstanding Commitment to Local Youth](#)





G-1

## 2021 Schedule of Regular Meetings of the Berwyn City Council

Notice is Hereby Given that the Berwyn City Council will hold Regular Meetings in 2021 at Berwyn City Hall located at 6700 W. 26th Street, Berwyn, Illinois. The City Council meets in the second floor Council Chambers at 8:00pm every 2<sup>nd</sup> and 4<sup>th</sup> Tuesday of the month. ❖\*\* Except for **Wednesday February 24, 2021 Due to the 2021 Consolidated Election.**

January 12	July 13
January 26	July 27
February 9	August 10
**February 24 (Wednesday)	August 24
March 9	September 14
March 23	September 28
April 13	October 12
April 27	October 26
May 11	November 9
May 25	November 23
June 8	December 14
June 22	December 28

**Notice is hereby given that the City of Berwyn, Cook County, Illinois, will close its offices in observance of the following holidays in 2021:**

Friday, January 1	New Year's Holiday
Monday, January 18	Martin Luther King Day
Monday, February 15	President's Day
Friday, April 2	Good Friday
Monday, May 31	Memorial Day
Monday, July 5	Independence Day (Observed)
Monday, September 6	Labor Day
Monday, October 11	Columbus Day
Thursday, November 11	Veterans Day
Thursday, November 25	Thanksgiving Day
Friday, November 26	Day after Thanksgiving
Friday, December 24	Christmas Eve
Monday, December 27	Christmas Day
Friday, December 31	New Year's Eve

The City Council approved the following 2021 Meeting/Holiday schedule on \_\_\_\_\_.

S: Margaret Paul – City Clerk \_\_\_\_\_

H-1

Mayor  
**Robert J. Lovero**



City Clerk  
**Margaret M. Paul**

**A CENTURY OF PROGRESS WITH PRIDE**

6700 W 26<sup>th</sup> Street • Berwyn, IL 60402 • Ph: (708) 788-2660 • Fax: (708) 788-2675 • Berwyn-IL.gov

**Zoning, Planning and  
Development Commission**

Joel Chrastka  
Douglas Walega  
Richard F. Bruen, Jr.  
Lance C. Malina  
Don Miller  
Rosina LaPietra  
Cathy Norden

October 29, 2020

**Re: Request for approval of Special Use Permit for a Tattoo Parlor use in the C-2  
Traditional Mixed Use Zoning District, at 6910 W. Cermak Road**

Mayor Lovero and Members of the City Council:

Attached for your consideration are Findings of Fact from the Zoning, Planning and Development Commission relative to the request of Petitioner Omar and Elizabeth Bates d/b/a Berwyn Custom Tattoo Company within the C-2 Traditional Mixed Use Zoning District, at the address commonly known as 6910 W. Cermak Road, Berwyn, Illinois. A special use permit to locate a tattoo parlor on the 6910 W. Ogden property may be granted where the standards applicable to special uses set forth in Section 1252.03 of the Zoning Code of the City of Berwyn are found to have been met. Attached to the Findings of Fact are Exhibits from the Public Hearing. Also attached for your consideration is an Ordinance approving the special use permit.

**The recommendation of the Zoning, Planning and Development Commission in this matter was to APPROVE the request for a special use permit, on a vote of 7-0.**

Respectfully,

Lance C. Malina  
Executive Secretary,  
Berwyn Zoning, Planning and Development  
Commission



CITY OF BERWYN

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR A TATTOO PARLOR USE WITHIN THE C-2 TRADITIONAL MIXED-USE ZONING DISTRICT AT THE ADDRESS COMMONLY KNOWN AS 6910 W. CERMAK ROAD, BERWYN, ILLINOIS – OMAR AND ELIZABETH BATES, D/B/A BERWYN CUSTOM TATTOO COMPANY**

**WHEREAS**, a request (the "Application") seeking a special use permit to operate a Tattoo Parlor Use (the "Proposed Tattoo Parlor Use") in an existing building within the C-2 Traditional Mixed-Use Zoning District, at the address commonly known as 6910 W. Cermak Road, Berwyn, Illinois (the "Subject Property"), was filed with the City of Berwyn by Omar and Elizabeth Bates, d/b/a Berwyn Custom Tattoo Company (the "Petitioners"); and

**WHEREAS**, the Proposed Tattoo Parlor Use requires a special use permit to operate within the C-2 Traditional Mixed-Use Zoning District pursuant to Section 1244.02 (Use Table) and Table 1244.02-A (Use Table) of the Zoning Code of the City of Berwyn ("Zoning Code"); and

**WHEREAS**, the Subject Property is legally described in Exhibit A attached hereto and made a part hereof; and

**WHEREAS**, the Application has been referred to the Zoning, Planning and Development Commission of the City ("Commission") and has been processed in accordance with the Zoning Code, as amended; and

**WHEREAS**, on September 16, 2020, the Commission held a public hearing on the Application pursuant to notice thereof given in the manner required by law, and, after considering all of the testimony and evidence presented at the public hearing, the Commission recommended approval of the Application with certain conditions, by a vote of seven (7) in favor and zero (0) opposed, with zero (0) absent, all as set forth in the Findings and Recommendation of the Commission in this matter ("Findings and Recommendation"), a copy of which is attached hereto as Exhibit B; and

**WHEREAS**, the City Council of the City has duly considered the Findings and Recommendation of the Commission, and all of the materials, facts and circumstances affecting the Application, and, in accordance with the Findings and Recommendation of the Commission, find that the Application satisfies the standards set forth in Section 1252.03(C)(4) of the Zoning Code relating to special use permits.

**NOW, THEREFORE, BE IT ORDAINED**, by the City Council of the City of Berwyn, Cook County and State of Illinois, as follows:

**Section 1: Incorporation.** Each whereas paragraph set forth above is incorporated by reference into this Section 1.

**Section 2: Approval of a Special Use Permit for the Proposed Tattoo Parlor Use.** The City Council, acting pursuant to the authority vested in it by the laws of the State of Illinois and the Zoning Code, hereby approve and adopt the Findings and Recommendation of the Zoning, Planning and Development Commission, a copy of which is attached hereto as **Exhibit B**, and incorporate such Findings and Recommendation by reference as if fully set forth herein. The City Council further approves a special use permit for a Tattoo Parlor Use to locate in the C-2 Traditional Mixed-Use Zoning District on the Subject Property located at 6910 W. Cermak Road, Berwyn, Illinois, as legally described in **Exhibit A**, with the following conditions:

1. The Petitioners shall install an awning sign to maintain unity in the building's façade; and
2. The Petitioner's new signage shall match the neighboring property's signage at 6908 W. Cermak Road, to maintain unity in the building's façade.

**Section 3: Violation of Condition or Code.** Any violation of any term or condition stated in this Ordinance or of any applicable code, ordinance, or regulation of the City shall be grounds for the immediate rescission by the City Council of the approvals made in this Ordinance.

**Section 4: Severability and Repeal of Inconsistent Ordinances.** Each section, paragraph, clause and provision of this Ordinance is separable, and if any section, paragraph, clause or provision of this Ordinance shall be held unconstitutional or invalid for any reason, the unconstitutionality or invalidity of such section, paragraph, clause or provision shall not affect the remainder of this Ordinance, nor any part thereof, other than that part affected by such decision. All ordinances, resolutions or orders, or parts thereof, in conflict with the provisions of this Ordinance are to the extent of such conflict hereby repealed.

**Section 5: Effective Date.** This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.



PASSED this \_\_\_\_ day of \_\_\_\_\_ 2020.

AYES: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

APPROVED this \_\_\_\_ day of \_\_\_\_\_ 2020.

\_\_\_\_\_  
Robert J. Lovero, Mayor

ATTEST:

\_\_\_\_\_  
Margaret Paul, City Clerk

Published by me in pamphlet form this \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Margaret Paul, City Clerk

**EXHIBIT A**

**LOTS 159 AND 160 IN BERWYN GARDENS, A SUBDIVISION OF THE SOUTH 1271.3 FEET OF THE SOUTHWEST QUARTER (1/4) OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.**

**PIN: 16-19-329-028-0000.**

**COMMONLY KNOWN AS: 6910 Cermak Road, Berwyn, Illinois**



**EXHIBIT B**  
**FINDINGS OF FACT**  
**(ATTACHED)**

STATE OF ILLINOIS            )  
  ) SS  
COUNTY OF COOK            )

**CLERK'S CERTIFICATE**

I, Margaret Paul, Clerk of the City of Berwyn, in the County of Cook, State of Illinois, do hereby certify that the attached and foregoing is a true and correct copy of that certain Ordinance now on file in my Office, entitled:

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR A TATTOO PARLOR USE WITHIN THE C-2 TRADITIONAL MIXED-USE ZONING DISTRICT AT THE ADDRESS COMMONLY KNOWN AS 6910 W. CERMAK ROAD, BERWYN, ILLINOIS – OMAR AND ELIZABETH BATES, D/B/A BERWYN CUSTOM TATTOO COMPANY**

which Ordinance was passed by the City Council of the City of Berwyn at a Regular City Council Meeting on the \_\_\_ day of \_\_\_\_\_, 2020, at which meeting a quorum was present, and approved by the Mayor of the City of Berwyn on the \_\_\_ day of \_\_\_\_\_, 2020.

I further certify that the vote on the question of the passage of said Ordinance by the City Council of the City of Berwyn was taken by Ayes and Nays and recorded in the minutes of the City Council of the City of Berwyn, and that the result of said vote was as follows, to-wit:

AYES:

NAYS:

ABSENT:

I do further certify that the original Ordinance, of which the foregoing is a true copy, is entrusted to my care for safekeeping, and that I am the lawful keeper of the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of the City of Berwyn, this \_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
City Clerk

[SEAL]

**FINDINGS OF FACT AND RECOMMENDATION OF THE  
CITY OF BERWYN ZONING, PLANNING AND DEVELOPMENT COMMISSION  
TO THE MAYOR AND CITY COUNCIL**

**ZPDC No. 20-04  
September 16, 2020**

**APPLICATION:** Request for approval of Special Use permit to locate a Tattoo Parlor Use within the C-2 Traditional Mixed-Use Zoning District.

**PETITIONER:** Omar & Elizabeth Bates, d/b/a Berwyn Custom Tattoo Company

**PROPERTY:** 6910 W. Cermak Road, Berwyn, Illinois

**SUMMARY OF REQUEST AND RECOMMENDATION:** The City of Berwyn has received a request from Petitioners Omar and Elizabeth Bates, d/b/a Berwyn Custom Tattoo Company (the "Petitioners") for a Special Use permit to locate a tattoo parlor (the "Proposed Tattoo Parlor Use") within the C-2 Traditional Mixed-Use Zoning District, at the address commonly known as 6910 W. Cermak Avenue, Berwyn, Illinois (the "Property"). The Proposed Tattoo Parlor Use requires a special use permit to operate within the C-2 Traditional Mixed-Use Zoning District pursuant to Section 1244.02 (Use Table) and Table 1244.02-A (Use Table) of the Zoning Code of the City of Berwyn ("Zoning Code").

Following a public hearing held on September 16, 2020, the City of Berwyn Zoning, Planning and Development Commission ("ZPDC") recommended APPROVAL of the requested special use permit for the Proposed Tattoo Parlor Use with conditions on a vote of seven (7) in favor and zero (0) opposed.

**BACKGROUND:** There is an existing three-story commercial building on the Property. No demolition or façade alterations are proposed.

City Staff determined that a special use permit was required to operate the Proposed Tattoo Parlor Use within the C-2 Traditional Mixed-Use Zoning District pursuant to Section 1244.02 (Use Table) and Table 1244.02-A (Use Table) of the Zoning Code of the City of Berwyn. Petitioner then requested that the ZPDC grant a special use permit to allow the Proposed Tattoo Parlor Use at the Property.



**PUBLIC HEARING:** At the public hearing on the special use request, David Hulseberg, Executive Director of the Berwyn Development Corporation, testified, as did Petitioners Elizabeth Bates and Omar Bates. All those who testified were sworn.

Petitioner Elizabeth Bates testified that Petitioner Omar Bates has been in the body art industry for twenty five (25) years. Petitioners owned "Skinibrations" in Oak Park for fifteen (15) years. That establishment is closed and they are seeking a new location. They chose the Property and seek to establish an open concept there, with individual spaces having half walls, so there is openness yet privacy at the same time. There will be four (4) artists total but they may have more. Petitioners think the location is good; it is close to Oak Park Avenue. They will add necessary electrical and plumbing utilities. There is a beauty salon on one adjacent side to the proposed location, and the space on the other side is vacant. Petitioners will hire contractors to do the interior build-out work.

Petitioner Omar Bates testified that a certification from the State is needed in order to do body art in Illinois. He has held such a certification for many years.

Elizabeth Bates further testified that when the business initially opens, she will be the only support staff. There could be up to seven people inside the establishment in addition to customers. The business will be open from 12 noon to 8:00 p.m. seven (7) days a week.

Mr. Hulseberg noted that the Berwyn Development Corporation ("BDC") had reviewed the petition and submitted recommendations, including two (2) proposed conditions regarding an awning and signage intended to ensure the exterior maintains unity of façade design with the adjacent beauty shop use. Petitioners confirmed they agree to the awning and signage conditions suggested by the BDC as a condition of approval in its staff report.

There being no questions, comments or members of the public wishing to speak on the application, the Public Hearing was closed on a unanimous vote following a motion by Commissioner Walega, seconded by Member Miller.

Exhibits marked during the course of the Public Hearing included: **City Group Exhibit 1**, which consisted of the published legal notice for the public hearing, and accompanying Certification of Publication, as well as the full application for the relief sought by Petitioner and supporting materials. The report submitted by the BDC was marked as **Exhibit 2**. The motion to admit the Exhibits was made by Commissioner LaPietra, seconded by Commissioner Bruen, and was unanimously approved.

The members of the ZPDC each in turn expressed their views on the Proposed Tattoo Parlor Use. Following discussion, a motion to recommend approval of the Special Use permit for the Proposed Tattoo Parlor Use with the following conditions, as suggested by the BDC, was made by Commissioner Bruen, seconded by Commissioner Norden:

- The Petitioners shall install an awning sign to maintain unity in the building's façade; and
- The Petitioner's new signage shall match the neighboring property's signage at 6908 W. Cermak Road, to maintain unity in the building's façade.

The ZPDC vote to recommend that the City Council APPROVE the requested Special Use permit for the Proposed Tattoo Parlor Use with the conditions suggested by the BDC was seven (7) in favor, zero (0) opposed, and zero (0) absent.

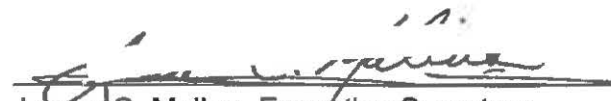
**FINDINGS:** The Zoning, Planning, and Development Commission makes the following Findings as to the proposed Special Use:

- (A) **The proposed special use will not, under the circumstance of the particular case, endanger the health, safety, comfort, convenience and general welfare of the public.** The ZPDC found that this standard had been met. The Proposed Tattoo Parlor Use will be entirely self-contained in the existing building. Persons who perform body art work at the location will be certified by the State. There will be no changes to the exterior of the building, and the conditions imposed will ensure there is unity between the awning and signage of the Proposed Tattoo Parlor Use and adjacent commercial spaces.
- (B) **The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed special use.** The ZPDC found that this standard had been met. In general, it was felt that locating the Proposed Tattoo Parlor Use on the Property was appropriate or compatible with the character of adjacent properties and other property within the immediate vicinity, given the nature of the building on the Property and the block itself. There will be no changes to the exterior of the building, and the Use will be located between a beauty salon and a tax preparation office. The use is consistent with the dense, commercial nature of Cermak Road. The conditions imposed will ensure there is unity between the awning and signage of the Proposed Tattoo Parlor Use and adjacent commercial spaces, thus helping to ensure the Use is compatible with the character of adjacent properties or other property within the immediate vicinity.

- (C) **The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.** There will be no changes to the exterior of the building or the existing footprint of the building, or other effect that would impede nearby redevelopment or improvements. The area is already fully developed. The ZPDC found that this standard had been met.
- (D) **The proposed special use will be provided with adequate utilities, access roads, drainage, and/or other necessary facilities.** The ZPDC found this standard was met in that all necessary utilities to the Property already exist, or, in the case of the electric service and plumbing work, will be provided.
- (E) **The proposed special use is consistent with the intent of the Comprehensive Plan, the Zoning Code, and the other land use policies of the City.** The ZPDC found that the special use permit for the Proposed Tattoo Parlor Use would be consistent with the intent of the Zoning Code and Comprehensive Plan. The Use will blend well with the mix of uses along Cermak Road.

**RECOMMENDATIONS:** Based upon the foregoing Findings, the ZPDC, by a vote of seven (7) in favor, zero (0) against, and zero (0) absent, recommends to the Mayor and City Council that the request of Petitioners Omar and Elizabeth Bates, d/b/a Berwyn Custom Tattoo Company, for a Special Use permit to locate a Tattoo Parlor Use within the C-2 Traditional Mixed-Use Zoning District, at the address commonly known as 6910 W. Cermak Road, Berwyn, Illinois, be APPROVED, subject to the following conditions:

1. The Petitioners shall install an awning sign to maintain unity in the building's façade; and
2. The Petitioner's new signage shall match the neighboring property's signage at 6908 W. Cermak Road, to maintain unity in the building's façade.

Signed:   
Lance C. Malina, Executive Secretary



KLEIN, THORPE & JENKINS LTD INC  
LEGAL NOTICE/NOTICE OF PUBLIC HEARING Notice is hereby:

ADORDERNUMBER: 0001113006-01

PO NUMBER: 6910 W CERMAK RD

AMOUNT: 285.00

NO OF AFFIDAVITS: 3

# Chicago Sun-Times Certificate of Publication

State of Illinois - County of Cook

Chicago Sun-Times, does hereby certify it has published the attached advertisements in the following secular newspapers. All newspapers meet Illinois Compiled Statute requirements for publication of Notices per Chapter 715 ILCS 5/0.01 et seq. R.S. 1874, P728 Sec 1, EFF. July 1, 1874. Amended by Laws 1959, P1494, EFF. July 17, 1959. Formerly Ill. Rev. Stat. 1991, CH100, Pl.  
Note: Notice appeared in the following checked positions.

PUBLICATION DATE(S): 08/28/2020

Chicago Sun-Times

## LEGAL NOTICE/NOTICE OF PUBLIC HEARING

Notice is hereby given to all interested persons that the City of Berwyn Zoning, Planning and Development Commission will hold a public hearing on Wednesday, the 16th day of September, 2020, in the City of Berwyn Council Chambers on the second floor, located at 6700 West 26th Street, Berwyn, Illinois, at the hour of 7:00 P.M. or as soon thereafter as the business of the Zoning, Planning and Development Commission permits, to consider the following:

The request of Omar and Elizabeth Bates, d/b/a Berwyn Custom Tattoo Company, for a Special Use permit to locate a tattoo parlor within the C-2 Traditional Mixed-Use Zoning District, at the address commonly known as 6910 W. Cermak Road, Berwyn, Illinois, and legally described as follows:

LOTS 159 AND 160 IN BERWYN GARDENS, A SUBDIVISION OF THE SOUTH 1271.3 FEET OF THE SOUTHWEST QUARTER (1/4) OF SECTION 19, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 16-19-329-028-0000.

COMMONLY KNOWN AS: 6910 Cermak Road, Berwyn, Illinois

Tattoo parlors require a special use permit to operate within the C-2 Traditional Mixed-Use Zoning District pursuant to Section 1244.02 (Use Table) and Table 1244.02-A (Use Table) of the Zoning Code of the City of Berwyn. A special use to locate a tattoo parlor within the C-2 Traditional Mixed-Use Zoning District at 6910 W. Cermak Road may be granted where the standards applicable to special uses set forth in Section 1252.03 of the Zoning Code are found to have been met.

During the Public Hearing the Zoning, Planning and Development Commission will hear testimony from and consider any evidence presented by persons interested to speak on this matter. In addition, objections and other comments, if any, relating to the proposed Special Use request may be submitted to the Building Director, 6700 West 26th Street, Berwyn, Illinois, prior to 4:00 P.M. the day of the Public Hearing.

The Public Hearing may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

Dated this 28th Day of August, 2020

By Order of the City of Berwyn Zoning,  
Planning and Development Commission  
Lance Malina, Executive Secretary  
8/28/2020 #1113006

IN WITNESS WHEREOF, the undersigned, being duly authorized,  
has caused this Certificate to be signed

by



Susan Quinn  
Manager | Recruitment & Legals

This 28th Day of August 2020

KLEIN, THORPE & JENKINS LTD INC  
20 N WACKER DR STE 1660  
ATTN: JEAN CHARPENTIER  
CHICAGO, IL 60606-2903

**PLEASE REVIEW THE BELOW CRITERIA FOR APPROVAL OF A SPECIAL USE  
BEFORE YOU SUBMIT YOUR FORMS AND PAY THE FEES.**

Standards for Approval. The Planning, Zoning and Development Commission shall evaluate applications for special use permits and make specific written findings based on each of the following standards, pursuant to § 1252.03.C.4. of the Zoning Code of the City of Berwyn:

- a. The proposed special use will not endanger the health, safety, comfort, convenience and general welfare of the public.
- b. The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed special use.
- c. The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.
- d. The proposed special use will be provided with adequate utilities, access roads, drainage, and/or other necessary facilities.
- e. The proposed special use is consistent with the intent of the Comprehensive Plan, the Zoning Code, and the other land use policies of the City.

**CITY OF BERWYN - ZONING PETITION**  
**- SPECIAL USE**

**I. GENERAL INSTRUCTIONS**

1. Please submit either an electronic copy, or, in the event of hardcopies, three (3) copies of this Petition Form and three (3) copies of all other exhibits, plans, data, and miscellaneous documents required to be submitted.
2. All copies must be received no later than 60 days from the date on the permit Denial Letter in the office of the Executive Secretary of the Zoning, Planning and Development Commission, at the following address:

Lance C. Malina, Executive Secretary  
Berwyn Zoning, Planning and Development Commission  
c/o Klein, Thorpe and Jenkins, Ltd.  
20 N. Wacker Drive, Suite 1660  
Chicago, IL 60606-2903

The 60 day requirement shall not apply if no building permit has been denied. If you have any questions for the Executive Secretary, he may be reached at 3129846439.

3. Materials required to be included in your submitted Petition package include:
  - a. A receipt for the cost of the applicable Hearing Fee paid to the City Collector. You may pay the Hearing Fee at City Hall. The Fee varies depending on the nature of the request. Upon payment, you will be provided with a receipt. **BE CERTAIN TO INCLUDE A COPY OF THE PAID RECEIPT WITH THE PETITION FORMS.**
  - b. A receipt for the \$300 publication fee previously paid to the City Collector. You must pay your publication fee to the City Collector. Upon payment, you will be provided with a receipt. **BE CERTAIN TO INCLUDE A COPY OF THE PAID RECEIPT WITH THE PETITION FORMS.**
  - c. A signed completed copy of this Petition, with Sections II and III fully completed and executed.
  - d. An 8 ½" x 11" depiction of the Property, showing the location of buildings, streets, sidewalks, parking areas, and the like as necessary to depict your proposed usage of the Property.
  - e. If applicable, a copy of the permit request made to the Zoning or Building Commissioner, from which this Petition arises. If the Petition does not arise from a permit request, a copy of the Zoning Code provision from which it does arise.
  - f. If applicable, a copy of notice mailed by you to the Building or Zoning commissioner advising him that you are appealing the matter referred to herein to the Zoning, Planning and Development Commission.
  - g. A copy of a survey of the property should be submitted if available.

**UPON RECEIPT OF A FULLY COMPLETED APPLICATION, YOU WILL BE NOTIFIED OF THE NEXT AVAILABLE HEARING DATE, WHICH IS DEPENDENT ON THE MEETING SCHEDULE OF THE ZONING, PLANNING AND DEVELOPMENT COMMISSION AND THE NEED TO COMPLY WITH STATUTORILY REQUIRED TIMELINES FOR ADVANCE PUBLICATION AND NOTICE OF THE HEARING.**





II. GENERAL INFORMATION

Please provide all of the requested information below. If you fail to provide all of the requested information, your Petition may be rejected as incomplete.

1. Full common address or location of the property for which zoning relief is sought (the "Property"):

**6910 Cermak Rd.  
Berwyn, IL 60402**

2. Legal Description of the Property (obtain from Deed, Survey or Title Policy) (attach additional sheet if necessary):

3. Permanent Index Number of the Property:

4. Size of the Property (in square feet or acres):  
**1,045 Square Feet**

5. Contact Information:

**Applicant(s)**

**Property Owner(s) (if different from Applicant)**

Name  
**Omar & Elizabeth Bates**  
Address

Name  
**Anthony Calek**  
Address

Telephone \_\_\_\_\_ -  
-

Telephone \_\_\_\_\_ -

Telephone \_\_\_\_\_ -

Telephone ( \_\_\_ ) \_\_\_\_\_ -

Fax ( \_\_\_ ) \_\_\_\_\_ -

Fax ( \_\_\_ ) \_\_\_\_\_ -

E-mail  
**berwyncustomtattoo@gmail.com**

E-mail

**Agent/Attorney**

Name  
**Sam Bhasin**  
Address

—

Telephone

6. If the Property is in a trust, provide name, address and number of trust.

**N/A**

7. Briefly describe Applicant's interest in the Property. If Applicant is not the Owner of Record, please attach copies of: i. the purchase contract or other documents in support of Applicant's interest; and ii. written permission from the current Owner of Record to petition the Village:

**To open a new tattoo shop to bring customized body art to this area of Berwyn.**

8. Are there any leases, offers or contracts to sell or buy, options, etc., in existence which affect the present or future ownership or interest in the affected Property (include the type of transaction, the parties thereto, dates of execution of documents referred to, and the actual consideration involved in the transaction). If so, please describe:

**N/A**

9. Are any of these transactions described in 8. above contingent upon Zoning relief being granted? If, so, explain in detail.

**N/A**

10. What is the current Zoning designation of the Property:

**C-2**

11. Describe the Zoning Relief you are seeking?

**A new tattoo studio to open in zone C-2.**



12. Has the Property, to the best of your knowledge, previously been the subject of a request for zoning relief? If so, explain in detail: (1) the date of the Hearing; (2) the relief requested; (3) the outcome of the Hearing; and (4) the applicant:

**N/A**

13. Describe any existing structures on the Property:

**Currently the location is an open concept with a seperate back room including some additional space and a private bathroom.**

14. Give a brief description of the proposed construction, rehabilitation or other work that will be performed at the Property, if any:

**Berwyn Custom Tattoo Company will be adding five "half walls" to the interior of the space to create cubicles for tattoo artists. These spaces will provide the necessary privacy for clients that is required by the health department. Additional electrical outlets will be added to the cubicles to provide more access for artists. In the back room, a kitchen style counter and sink will be installed in order to have a proper sanitation station.**

15. Describe any private parking facilities proposed and number of cars accommodated:

**N/A**

**III. EVIDENCE IN SUPPORT OF PETITIONER'S  
SPECIAL USE REQUEST**

NOTE: This entire application and petition shall become a part of your hearing records. You are encouraged to set forth all arguments, evidence and exhibits (whether requested or not) in full support of your appeal within and made a part of this petition. Use additional pages if necessary.

1. The Zoning, Planning and Development Commission shall not make a recommendation to approve a special use to Council, and Council shall not grant a special use, unless the applicant establishes, by a preponderance of the evidence presented at the public hearing, evidence to support each of the following conclusions. Please respond after each with a short narrative stating how the proposed special use meets or is consistent with each standard:

a. The proposed special use will not endanger the health, safety, comfort, convenience and general welfare of the public.

**All work will be completed indoors to prevent any release of dust and debris. All equipment will remain inside at all times, this way pedestrians do not experience any risk. The storefront's door and windows are completely covered with dark paper to ensure no one can see work being done.**

b. The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed special use.

**The construction work will be done only indoors with no changes to the exterior of the building or the sidewalk. The proposed new design does not consist of any demolition, just additions of "half walls" using drywall to create 4 cubicles.**

c. The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.

**All construction work will be completed indoors and without any equipment impeding the sidewalk. All construction workers will enter and exit through the back door in order to prevent excessive traffic on the sidewalk and keep neighboring businesses operating as normal.**

d. The proposed special use will be provided with adequate utilities, access roads, drainage, and/or other necessary facilities.

**A proper fire and drain system are installed to ensure safety. The only road to be utilized will be the alley behind the location to prevent disruption to the main road (Cermak Rd).**

e. The proposed special use is consistent with the intent of the Comprehensive Plan, the Zoning Code, and the other land use policies of the City.

**All work will be completed safely with the public's health as our main priority. Berwyn Custom Tattoo Company is dedicated to keeping the constructional changes minimal. Since there are no changes being made to the exterior of the building, the storefront will continue to look compatible with all properties nearby. All work will be completed in a timely and professional manner.**

2. Do you have any further evidence to present in support of your petition? If so, attach a supplemental sworn statement hereto specifying the facts fully.

**NOTICE: ALL PARTIES IN INTEREST MUST SIGN AS APPLICANTS**

I (WE) HEREBY DEPOSE THAT ALL THE ABOVE STATEMENTS CONTAINED IN THIS PETITION AND THE PAPERS AND DOCUMENTS SUBMITTED HEREWITH ARE TRUE AND CORRECT.

Sworn to before me, this

Omar Bates

Applicant

day of \_\_\_\_\_, 20

Business Owner

Interest

Notary Public  
(Notary Section must be completed)

Sworn to before me, this

Elizabeth Bates

Applicant

day of \_\_\_\_\_, 20

Business Owner

Interest

Notary Public  
(Notary Section must be completed)

**OWNER, IF DIFFERENT THAN APPLICANT, MUST SIGN TO INDICATE CONSENT TO THE FILING OF THIS PETITION:**

Sworn to before me, this

Anthony Calek

Property Owner (if different then Applicant)

day of \_\_\_\_\_, 20

Portfolio Manager

Interest



**Notary Public**  
**(Notary Section must be completed)**

**Robert J. Lovero**  
Mayor



**Charles D. Lazzara**  
Building Director

**A Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-1427  
www.berwyn-il.gov

**Date:** August 11, 2020

**Name:** Omar Bates

**Address:**

**City:**

**Re:** 6910 W. Cermak Road Opening up a tattoo parlor

**Dear:** Mr. Bates

**Your request to: open up a tattoo parlor cannot be approved by this office.**

**The reason for such inability is based upon our Zoning Ordinance.**

**Your Property is located in a C-2 Traditional Mixed-Use District and is subject to the following regulations.**

- Chapter 1246.05 C-2 Traditional Mixed-Use District
- Chapter 1244.02 Use Table
  - Table 1244.02-A Use Table

(SEE ATTACHED)

**Robert J. Lovero**  
Mayor



**Charles D. Lazzara**  
Building Director

**Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-1427  
www.berwyn-il.gov

-2-

Because of this regulation, it will be necessary for you to seek a variance from the Berwyn Zoning Board of Appeals.

The law requires you to request an appeal of my decision within 45 days of this denial letter. Your request must be made in writing by sending me an appeal letter asking for a hearing before the Zoning Board of Appeals. Your request must specify the grounds for such action. Please read the **sample appeal letter** below. This is an example you may tailor to your project.

*Dear Mr. Lazzara,*

*I received your denial letter. I would like to appeal your decision and request an opportunity to appear before the Zoning Board.*

*The reason we would like to build a four-car garage is so we can park our cars off the street and to provide a place to store our lawn and gardening equipment.*

*Sincerely,*

*Mr. and Mrs. Smith*

A copy of the appeal letter must also be mailed to:  
Zoning Board of Appeals  
Mr. Lance C. Malina  
Klein, Thrope and Jenkins, Ltd.  
20 N. Wacker Drive, Suite 16603  
Chicago, IL 60606

Please **do not send your appeal letter to Mr. Malina by certified mail**. If you need verification of receipt, please include an extra copy of your appeal letter and he will return it to you properly acknowledged.

Upon receipt of your letter, Mr. Malina will mail you a Petition for Variation Hearing form. The form must be properly executed and seven (7) copies delivered to Mr. Malina within 60 days of the denial letter. You are advised to make a copy of the forms for your records. Proof of fee payment must accompany the forms. The Filing Fee must be paid at Berwyn City Hall. The Publication Fee for the required Legal Notice is paid to the local paper. Instructions for placing the ad are included on the form. Bring the forms to the City Collector's office at City

Hall, pay the proper filing fee, enclose a copy of both fee receipts with the forms and mail them to Mr. Lance Malina

After Mr. Malina receives and reviews the forms, he will mail you a letter informing you of the date of your hearing. A sign may be placed on your property informing the public of the hearing.

The Zoning Board of Appeals meets every third Tuesday of the month at 7:00 p.m. in the second floor conference room at City Hall. At the conclusion of your hearing, the board will vote to either concur with or deny your request. This recommendation is then sent to the City Council. The Council meets every second and fourth Tuesday of the month at 8:00 p.m. in the Council Chambers on the second floor at City Hall. You will receive notification by the City Clerk of the date your case will be before City Council. It is recommended you attend. At this meeting, the Council will vote to concur with or deny the Zoning Board's recommendation. You will receive a letter as to the outcome of this vote from the City Clerk.

Time is of the essence for this process to be successful. These procedures are required by law and cannot be circumvented. Please respond to all requests as soon as possible. The time limits must be adhered to or you will be required to start the process again from the beginning. The entire process can take up to three months.

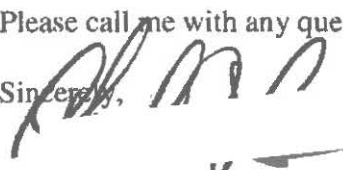
**Zoning Filing Fees:**

1. \$300.00 All Residential Properties (except 2, 3 & 4 below)
2. \$75.00 Residential Fences
3. \$75.00 Residential Garages
4. \$75.00 Residential Above Ground Pools
5. \$500.00 All Commercial Properties (except below)
6. \$100.00 Commercial Retail Overlay (RO) Regulated Use

The publication fee is not included in the above fees.

Please call me with any questions at 708-788-2660 x 3210.

Sincerely,



Charles D. Lazzara  
Building Director

Cc: Lance C. Malina, Zoning Board  
Margaret M. Paul, City Clerk  
Alderman Rafael Avila – 7<sup>th</sup> Ward  
Anthony Perri – Licensing Officer



**§ 1246.05 C-2 Traditional Mixed-Use District Requirements**

Table 1246.05-A. C-2 District Requirements, Figure 1246.05-A. C-2 District Requirements: Plan, and Figure 1246.05-B. C-2 District Requirements: 3-D establish bulk, setback, and design requirements for the C-2 District. See § 1246.02 (Design Requirements for Commercial Zoning Districts) for additional design requirements that apply to all commercial districts.

**Table 1246.05-A. C-2 District Requirements**

<b>Bulk Requirements</b>		
	Minimum Lot Area	3,000 sf
A	Minimum Lot Width	25 ft
B	Maximum Principal Building Height	65 ft and 5 stories
	Maximum Impervious Coverage	Does not apply
<b>Setback Requirements</b>		
C	Maximum Front Setback	10 ft
D	Maximum Corner Side Setback	10 ft
E	Minimum Interior Side Setback	0 ft
F	Minimum Rear Setback	5 ft
<b>Design Requirements</b>		
G	Minimum Street Frontage	75%
H	Parking Location	Rear yard; 1 double loaded bay permitted in interior side yard
	Minimum Transparency	50% of street-facing facades between 2 ft and 8 ft above grade
	Principal Entrance Location	Front or corner side facade
	Roof Types	Parapet or flat

Figure 1246.05-A. C-2 District Requirements: Plan

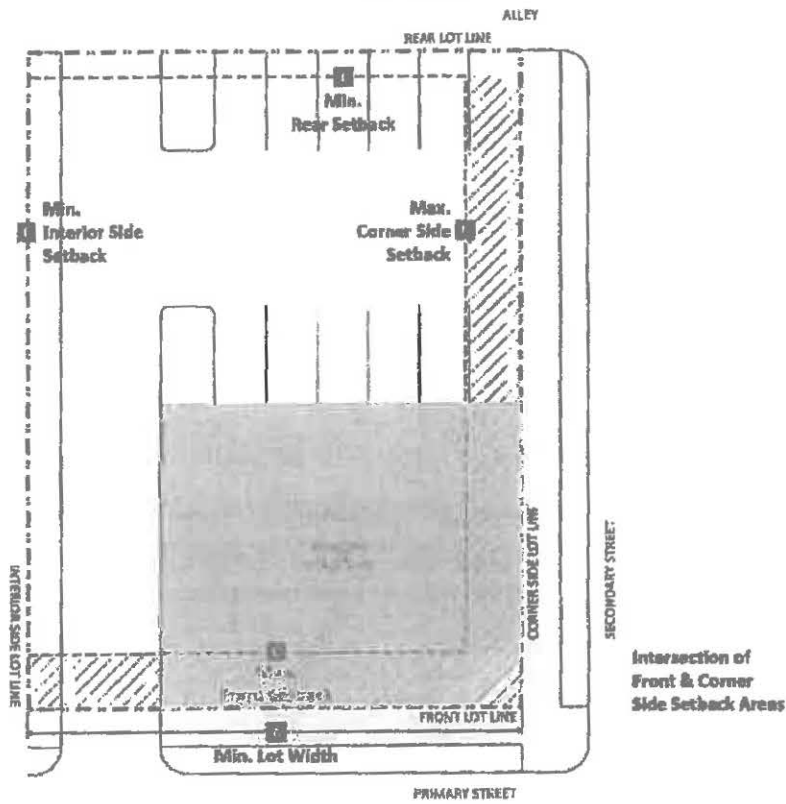


Figure 1246.05-B. C-2 District Requirements: 3-D



ADOPTION DRAFT: City of Berwyn Zoning Code

§ 1244.02 Use Table

A. Use Table. Table 1244.02-A. Use Table establishes the uses allowed in each zoning district. Each use is given one of the following designations for each zoning district.

1. Permitted Use ("P"). A "P" indicates that a use is allowed by right within the designated district provided that it meets all applicable use standards set forth in § 1244.03 (Use Standards).
2. Special Use ("S"). An "S" indicates that the use requires the approval of a special use permit (refer to § 1252.03.C (Special Use Permit)) and must meet the use standards set forth in § 1244.03 (Use Standards) in order to be allowed within the designated district.
3. No Designation. The absence of a letter (a blank space) or the absence of the use from the table indicates that the use is not allowed within the designated district.

B. Use Standards. Uses that are designated as "Permitted Use" or "Special Use" may have use standards that must be met, as established in § 1244.03 (Use Standards).

Table 1244.02-A. Use Table

Uses	Districts										Use Standards	
	C-1	C-2	C-3	C-4	I	P	R-1	R-2	R-3	R-4		
Residential												
Community Residence	P							P	P	P	P	See § 1244.03.E
Dwelling Above the Ground Floor	P	P	P	P								None
Multi-Family Dwelling	S	S	S	P							P	See § 1244.03.Q
Residential Care Facility	P	P	P	P							P	None
Single-Family Dwelling	P						P	P	P	P		None
Townhouse Dwelling	P	S	S								P	None
Two-Family Dwelling	P									P	P	None
Civic and Institutional	C-1	C-2	C-3	C-4	I	P	R-1	R-2	R-3	R-4		
Community Garden	P	P	P	P		P	P	P	P	P		See § 1244.03.D
Cultural Facility	S	S	S	S		S						None
Government Facility	P	P	P	P	P	P	P	P	P	P		See § 1244.03.J
Hospital	S	S	S	S		S						None
Park	P	P	P	P	P	P	P	P	P	P		None
Place of Worship	S	S	S	S	P	P	P	P	P	P		None
Preschool or Elementary School	S	S	S	S		S	S	S	S	S		See § 1244.03.W
Secondary School	S	S	S	S		S						See § 1244.03.W
Commercial	C-1	C-2	C-3	C-4	I	P	R-1	R-2	R-3	R-4		
Adult Use					S							None
Animal Boarding				S	P							See § 1244.03.A
Animal Hospital	P	P	P	P	P							None
Banquet Hall		S	S	S								See § 1244.03.B
Bar/Tavern	S	P	P	P								None
Car Wash				S	P							See § 1244.03.C
Credit Union, Loan Company, or Mortgage Broker		S	S	P								See § 1244.03.F
Currency Exchange or Payday Loan		S		P	P							See § 1244.03.G
Day Care Center	S	S	S	S								None
Day Care Home							P	P	P	P		See § 1244.03.H
Financial Institution	P	P	P	P	P							None
Funeral Home	S	P	S	P								None
Gas Station	S	S		P	P							See § 1244.03.I
Hotel or Motel		S	S	S								None

ADOPTION DRAFT: City of Berwyn Zoning Code

Commercial	C-1	C-2	C-3	C-4	I	P	R-1	R-2	R-3	R-4	Use Standards
Indoor Entertainment or Recreation	S	S	S	S	P						See § 1244.03.K
Medical/Dental Office With Dispensary				S	S						None
Medical/Dental Office Without Dispensary	P	P	P	P	P						None
Medical Marijuana Dispensary				S	S						See § 1244.03.L
Microbrewery / Micro-Distillery	S	S	S	S	S						See § 1244.03.M
Motor Vehicle Rental		S	S	P	P						See § 1244.03.N
Motor Vehicle Repair and/or Service	S	S	S	P	P						See § 1244.03.O
Motor Vehicle Sales				P	P						See § 1244.03.P
Nursery				P	P						None
Outdoor Entertainment or Recreation	S	S	S	S	S						See § 1244.03.S
Pawn Shop		S		P	S						See § 1244.03.U
Personal Services Establishment	P	P	P	P	P						None
Professional Office	P	P	P	P	P						None
Research / Development Facility		P	P	P	P						None
Restaurant	P	P	P	P	P						None
Retail Goods Establishment	P	P	P	P	P						None
Self-Service Storage		P		P	P						See § 1244.03.X
Tattoo Parlor		S	S	P	P						None
Tobacco Shop	P	S	S	P	P						See § 1244.03.Z
Transitional Treatment Facility With Dispensary				S	S						See § 1244.03.AA
Transitional Treatment Facility Without Dispensary	S	S	S	S	P						See § 1244.03.AA
<b>Manufacturing</b>	<b>C-1</b>	<b>C-2</b>	<b>C-3</b>	<b>C-4</b>	<b>I</b>	<b>P</b>	<b>R-1</b>	<b>R-2</b>	<b>R-3</b>	<b>R-4</b>	
General Manufacturing					P						None
Small Food Manufacturing		P	P	P	P						See § 1244.03.Y
Warehousing, Storage, or Distribution Facility				S	P						None
Wholesale Establishment				S	P						None
<b>Other Uses</b>	<b>C-1</b>	<b>C-2</b>	<b>C-3</b>	<b>C-4</b>	<b>I</b>	<b>P</b>	<b>R-1</b>	<b>R-2</b>	<b>R-3</b>	<b>R-4</b>	
Club, Lodge, or Hall	S	S	S	S	S	S				S	None
Off-Street Parking Lot	S	S	S	P	P	P				S	See § 1244.03.R
Parking Garage		S	S	P	P	P					See § 1244.03.T
Planned Development	S	S	S	S	S	S	S	S	S	S	See § 1244.03.V
Utility	S	S	S	S	S	S				S	See § 1244.03.BB
Wireless Telecommunication Facility or Tower	S	S	S	S	S	S	S	S	S	S	See § 1244.03.CC
<b>Table Key</b>											
P: Allowed by right and shall meet requirements of § 1244.03 (Use Standards) when applicable.											
S: Allowed with special use permit and shall meet requirements of § 1244.03 (Use Standards) when applicable.											





PLEASE PRINT -  
USE BALLPOINT PEN OR TYPEWRITER  
APPLICATION FOR BUSINESS REGISTRATION

DATE July 24<sup>th</sup> 20 20

TO BE FILED BY APPLICANT IF AN INDIVIDUAL, PARTNERSHIP OR CORPORATION  
PLEASE CLEARLY PRINT ALL INFORMATION

TO THE COLLECTOR'S OFFICE

The undersigned hereby applies for a license to operate the following type of business:

NAME OF BUSINESS: Berwyn Custom Tattoo Company BUSINESS PHONE: 773 341 6099

ADDRESS OF BUSINESS: 6910 Cermak Rd. Berwyn IL 60402  
Street City Zip

BUSINESS MAILING ADDRESS: 2331 Harvey Ave Berwyn IL 60402  
Street City Zip

Check the type of ownership of this business and complete the following:

Sole Proprietor \_\_\_\_\_ Co-Partnership \_\_\_\_\_ Corporation  LLC

NAME OF PARTNERSHIP: \_\_\_\_\_

Individual/Partner's full name Omar Bates Home Phone \_\_\_\_\_

Home Address \_\_\_\_\_ No. Yrs. 7  
Street City Zip

Drivers Lic. No. \_\_\_\_\_ Cell Phone \_\_\_\_\_ Date of Birth \_\_\_\_\_  
PRIOR ADDRESS

Partner's full name \_\_\_\_\_ Home Phone \_\_\_\_\_

Home Address \_\_\_\_\_ No. Yrs. \_\_\_\_\_  
Street City Zip

Drivers Lic. No. \_\_\_\_\_ Cell Phone \_\_\_\_\_ Date of Birth \_\_\_\_\_  
PRIOR ADDRESS

OTHER PARTNERS - Use separate sheet

OR

CORPORATION NAME Berwyn Custom Tattoo Company STATE OF INCORPORATION IL

BUSINESS NAME Berwyn Custom Tattoo Company

Name & Title Omar Bates owner Home Address \_\_\_\_\_

Home Ph. \_\_\_\_\_ Cell Ph. \_\_\_\_\_ City, State, Zip \_\_\_\_\_

Name & Title Elizabeth Bates co-owner Home Address \_\_\_\_\_

Home Ph. \_\_\_\_\_ Cell Ph. \_\_\_\_\_ City, State, Zip \_\_\_\_\_

Name & Title \_\_\_\_\_ Home Address \_\_\_\_\_

Home Ph. \_\_\_\_\_ Cell Ph. \_\_\_\_\_ City, State, Zip \_\_\_\_\_

Name & Title \_\_\_\_\_ Home Address \_\_\_\_\_

Home Ph. \_\_\_\_\_ Cell Ph. \_\_\_\_\_ City, State, Zip \_\_\_\_\_

State whether you are the owner(s) or lessee(s) of premises exhibiting evidence of title or written lease:

Owner of premises: Anthony Calek  
Address of owner: 6910 Cermak Rd. Berwyn IL 60402  
Owners Phone No. \_\_\_\_\_

Insurance Company or Agent: (copy of insurance if applicable)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone No. \_\_\_\_\_

**AS PART OF THIS APPLICATION A COPY OF THE CORPORATE ARTICLES OF INCORPORATION MUST BE ATTACHED HERETO**

Automatic Amusement Devices (Amt.) \_\_\_\_\_ Vend. Mach. (Amt.) \_\_\_\_\_ Juke Box (Amt.) \_\_\_\_\_ Pool Table \_\_\_\_\_ No. of persons employed or engaged (inc. owners) \_\_\_\_\_

Cigarette Vend. Mach (Amt.) \_\_\_\_\_ Tobacco Counter Sales \_\_\_\_\_ Square Foot Floor Area \_\_\_\_\_ Parking Stalls \_\_\_\_\_

Gallon Capacity \_\_\_\_\_ (if appl.) Hazardous Materials Yes \_\_\_\_\_ No \_\_\_\_\_

State Type \_\_\_\_\_

**ABOVE MUST BE COMPLETED**

**IBT No. \_\_\_\_\_ COPY OF ILLINOIS BUSINESS TAX NO. (IF APPLICABLE)**

If business is to be conducted by a manager or agent, give name, residence and age of such manager or agent:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Drivers Lic. No. \_\_\_\_\_ Cell Phone: \_\_\_\_\_

Res. Phone: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Have any other City of Berwyn Licenses been issued to you? (Describe fully)

\_\_\_\_\_  
\_\_\_\_\_

(I) (We) hereby request that the City of Berwyn issue a business license based on the foregoing and swear the above statements are true and correct and that (I) (We) shall observe all the laws of the State of Illinois, of the United States, and the ordinance of the City of Berwyn in the conduct of this business. Commercial properties must provide their own scavenger services.

APPLICATION MUST BE NOTARIZED: (Any change of ownership and/or address must be reported to Collector's Office)

[Signature] Corporation (President) (Please Sign) \_\_\_\_\_ Individual or Partner (Please Sign)

[Signature] Corporation (President) (Please Sign) \_\_\_\_\_ Partner (Please Sign)

(Seal)

Subscribed and sworn to before me this

\_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_  
(Notary Public)

Approved by:

Licensing/Zoning [Signature] 100 Pallet in a Date 7-28-20  
Q-2 PERMITTED  
SPECIAL USE

Building \_\_\_\_\_ Date \_\_\_\_\_

Fire \_\_\_\_\_ Date \_\_\_\_\_

Health \_\_\_\_\_ Date \_\_\_\_\_

Mayor \_\_\_\_\_ Date \_\_\_\_\_

RESTRICTIONS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**POLICE DEPARTMENT INFORMATION**

BUSINESS ADDRESS \_\_\_\_\_

BUSINESS NAME \_\_\_\_\_

BUSINESS OWNER NAME (1) \_\_\_\_\_

BUSINESS OWNERS NAME(2) \_\_\_\_\_

HOME TELEPHONE NO. \_\_\_\_\_

**EMERGENCY CONTACT INFORMATION**

1) NAME \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

2) NAME \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

3) NAME \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

DATE: July 24<sup>th</sup> 2020

Omar Bates

(Name - Please Print)

(date of birth)

(Home address)

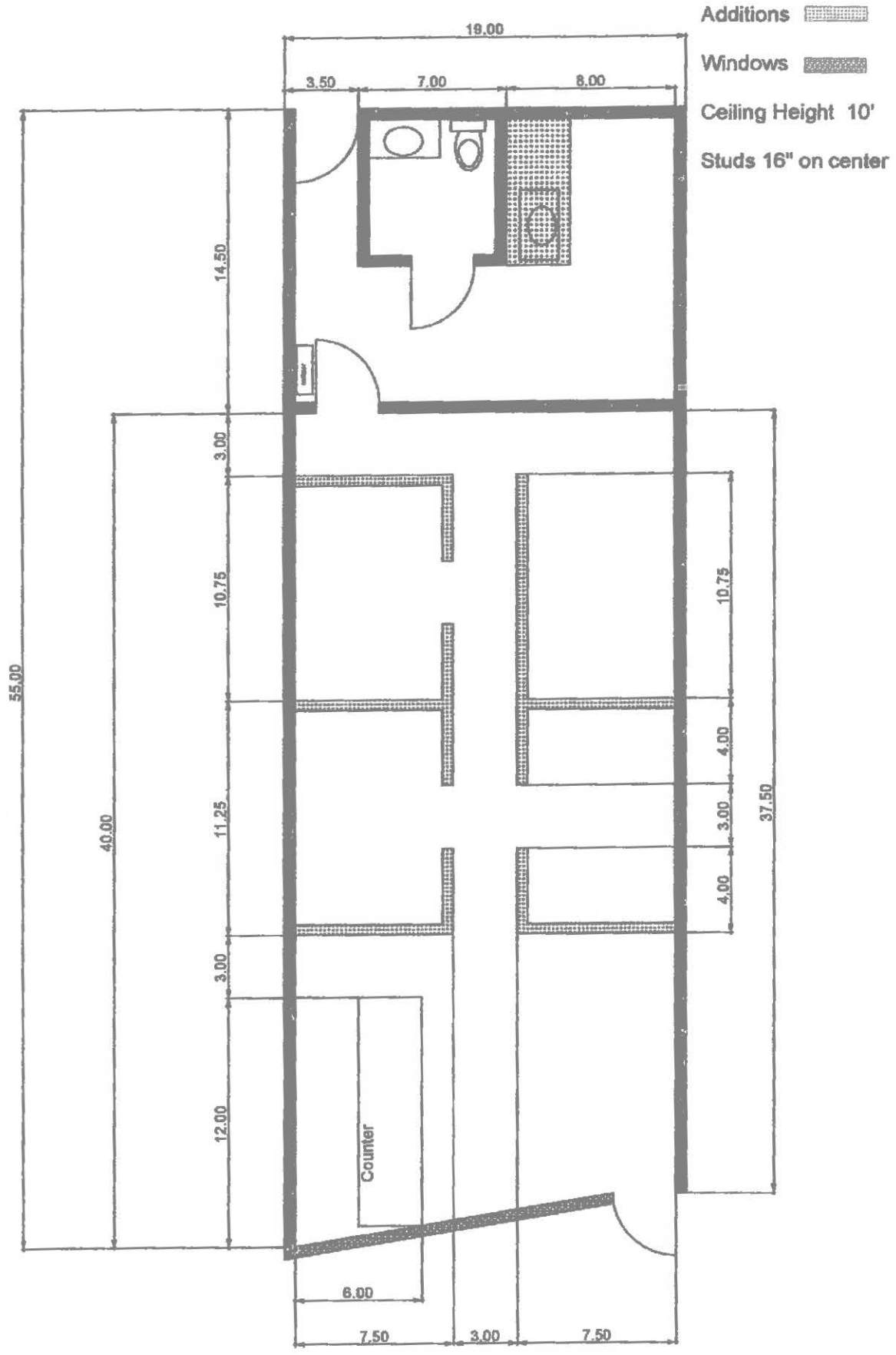
(City and State)

hereby grant the Berwyn Police Department and agents thereof, permission to run a computerized and/or fingerprint record check to determine any prior criminal history I may have. I understand that the above information will not be released to any other investigative agency without my prior permission.

SIGNED

[Handwritten Signature]

WITNESS: \_\_\_\_\_





**Robert J. Lovero**  
Mayor



**Charles D. Lazzara**  
Building Director

**A Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-1427  
www.berwyn-il.gov

Mr. Lance C. Malina  
Klein, Thorpe and Jenkins, Ltd.  
20 N. Wacker Drive, Suite 1660  
Chicago, IL 60606

Re: 6910 W. Cermak Road

Dear Mr. Malina,

Please be advised that I received an appeal letter from **Omar Bates** with regard to my denial dated: **August 11, 2020**. At that time, I denied his request to **open up a tattoo parlor** in C-2 Traditional Mixed-Use District.

As a result he has written a letter appealing that decision.

I am forwarding the following papers for your use and so a hearing can be scheduled with the Zoning Board of Appeals.

One copy of denial letter dated: **August 11, 2020**

One copy of appeal letter dated: **August 11, 2020**

One copy of the business license application dated: **July 24, 2020**

Please call me with any questions.

Sincerely,

  
Charles D. Lazzara  
Building Director

Cc: Margaret M. Paul, City Clerk  
Alderman Rafael Avila – 7<sup>th</sup> Ward  
Anthony Perri – Licensing Officer  
Omar Bates (applicant)

**Robert J. Lovero**  
Mayor



**Charles D. Lazzara**  
Building Director

**A Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-1427  
www.berwyn-il.gov

**Date:** August 11, 2020

**Name:** Omar Bates

**Address:** 6910 W. Cermak Road

**City:** Berwyn, Illinois

**Re:** 6910 W. Cermak Road Opening up a tattoo parlor

**Dear:** Mr. Bates

**Your request to: open up a tattoo parlor cannot be approved by this office.**

**The reason for such inability is based upon our Zoning Ordinance.**

**Your Property is located in a C-2 Traditional Mixed-Use District and is subject to the following regulations.**

- Chapter 1246.05 C-2 Traditional Mixed-Use District
- Chapter 1244.02 Use Table
  - Table 1244.02-A Use Table

(SEE ATTACHED)



Dear Mr. Lazzara,

We have received your denial letter. We would like to appeal your decision and request an opportunity to appear before the Zoning Board.

We'd like to open a tattoo studio on Cermak Rd to showcase our artistic talent and share it with the public. The reason we'd like this specific location (6910 Cermak Rd) is to provide easy access for the community of Berwyn to come and experience our services.

Sincerely,

Mr. & Mrs. Bates



PLEASE PRINT -  
USE BALLPOINT PEN OR TYPEWRITER  
APPLICATION FOR BUSINESS REGISTRATION

DATE July 24<sup>th</sup> 20 20

TO BE FILED BY APPLICANT IF AN INDIVIDUAL, PARTNERSHIP OR CORPORATION  
PLEASE CLEARLY PRINT ALL INFORMATION

TO THE COLLECTOR'S OFFICE

The undersigned hereby applies for a license to operate the following type of business:

NAME OF BUSINESS: Berwyn Custom Tattoo Company BUSINESS PHONE: 773 341 6099

ADDRESS OF BUSINESS: 6910 Cermak Rd. Berwyn IL 60402  
Street City Zip

BUSINESS MAILING ADDRESS: \_\_\_\_\_  
Street City Zip

Check the type of ownership of this business and complete the following:

Sole Proprietor \_\_\_\_\_ Co-Partnership \_\_\_\_\_ Corporation P LLC

NAME OF PARTNERSHIP: \_\_\_\_\_

Individual/Partner's full name Omar Bates Home Phone 773

Home Address: \_\_\_\_\_  
Street City Zip No. Yrs. 7

Drivers Lic. No. \_\_\_\_\_ Cell Phone \_\_\_\_\_ Date of Birth \_\_\_\_\_  
PRIOR ADDRESS

Partner's full name \_\_\_\_\_ Home Phone \_\_\_\_\_

Home Address \_\_\_\_\_  
Street City Zip No. Yrs. \_\_\_\_\_

Drivers Lic. No. \_\_\_\_\_ Cell Phone \_\_\_\_\_ Date of Birth \_\_\_\_\_  
PRIOR ADDRESS

OTHER PARTNERS - Use separate sheet

OR

CORPORATION NAME Berwyn Custom Tattoo Company STATE OF INCORPORATION IL

BUSINESS NAME Berwyn Custom Tattoo Company

Name & Title Omar Bates owner Home Address \_\_\_\_\_

Home Ph. \_\_\_\_\_ Cell Ph. \_\_\_\_\_ City, State, Zip \_\_\_\_\_

Name & Title Elizabeth Bates co-owner Home Address \_\_\_\_\_

Home Ph. \_\_\_\_\_ Cell Ph. \_\_\_\_\_ City, State, Zip \_\_\_\_\_

Name & Title \_\_\_\_\_ Home Address \_\_\_\_\_

Home Ph. \_\_\_\_\_ Cell Ph. \_\_\_\_\_ City, State, Zip \_\_\_\_\_

Name & Title \_\_\_\_\_ Home Address \_\_\_\_\_

Home Ph. \_\_\_\_\_ Cell Ph. \_\_\_\_\_ City, State, Zip \_\_\_\_\_

State whether you are the owner(s) or lessee(s) of premises exhibiting evidence of title or written lease:

Owner of premises: Anthony Calek

Address of owner: 6910 Cermak Rd. Berwyn IL 60402

Owners Phone No. 771

Insurance Company or Agent: (copy of insurance if applicable)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone No. \_\_\_\_\_

**AS PART OF THIS APPLICATION A COPY OF THE CORPORATE ARTICLES OF INCORPORATION MUST BE ATTACHED HERETO**

Automatic Amusement Devices (Amt.) \_\_\_\_\_ Vend. Mach. (Amt.) \_\_\_\_\_ Juke Box (Amt.) \_\_\_\_\_ Pool Table \_\_\_\_\_ No. of persons employed or engaged (inc. owners) \_\_\_\_\_

Cigarette Vend. Mach (Amt.) \_\_\_\_\_ Tobacco Counter Sales \_\_\_\_\_ Square Foot Floor Area \_\_\_\_\_ Parking Stalls \_\_\_\_\_

Gallon Capacity \_\_\_\_\_ (if appl.) Hazardous Materials Yes \_\_\_\_\_ No \_\_\_\_\_

State Type \_\_\_\_\_

ABOVE MUST BE COMPLETED

IBT No. \_\_\_\_\_ **COPY OF ILLINOIS BUSINESS TAX NO. (IF APPLICABLE)**

If business is to be conducted by a manager or agent, give name, residence and age of such manager or agent:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Drivers Lic. No. \_\_\_\_\_ Cell Phone: \_\_\_\_\_

Res. Phone: \_\_\_\_\_ Date of Birth: \_\_\_\_\_

Have any other City of Berwyn Licenses been issued to you? (Describe fully)

\_\_\_\_\_  
\_\_\_\_\_



(I) (We) hereby request that the City of Berwyn issue a business license based on the foregoing and swear the above statements are true and correct and that (I) (We) shall observe all the laws of the State of Illinois, of the United States, and the ordinance of the City of Berwyn in the conduct of this business. Commercial properties must provide their own scavenger services.

**APPLICATION MUST BE NOTARIZED: (Any change of ownership and/or address must be reported to Collector's Office)**

[Signature]  
Corporation (President) (Please Sign) Individual or Partner (Please Sign)

[Signature]  
Corporation (President) (Please Sign) Partner (Please Sign)  
(Seal)

Subscribed and sworn to before me this

Day of \_\_\_\_\_, 20\_\_\_\_  
(Notary Public)

Approved by:

Licensing/Zoning [Signature] For Ho Park in a Date 7-28-20  
Q-2 rezoned  
Special use

Building \_\_\_\_\_ Date \_\_\_\_\_

Fire \_\_\_\_\_ Date \_\_\_\_\_

Health \_\_\_\_\_ Date \_\_\_\_\_

Mayor \_\_\_\_\_ Date \_\_\_\_\_

RESTRICTIONS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**POLICE DEPARTMENT INFORMATION**

BUSINESS ADDRESS \_\_\_\_\_

BUSINESS NAME \_\_\_\_\_

BUSINESS OWNER NAME (1) \_\_\_\_\_

BUSINESS OWNERS NAME(2) \_\_\_\_\_

HOME TELEPHONE NO. \_\_\_\_\_

**EMERGENCY CONTACT INFORMATION**

1) NAME \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

2) NAME \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

3) NAME \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

DATE: July 24<sup>th</sup> 2020

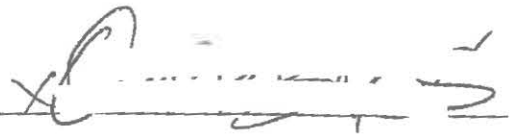
Omar Bates  
(Name - Please Print)

\_\_\_\_\_  
(date of birth)

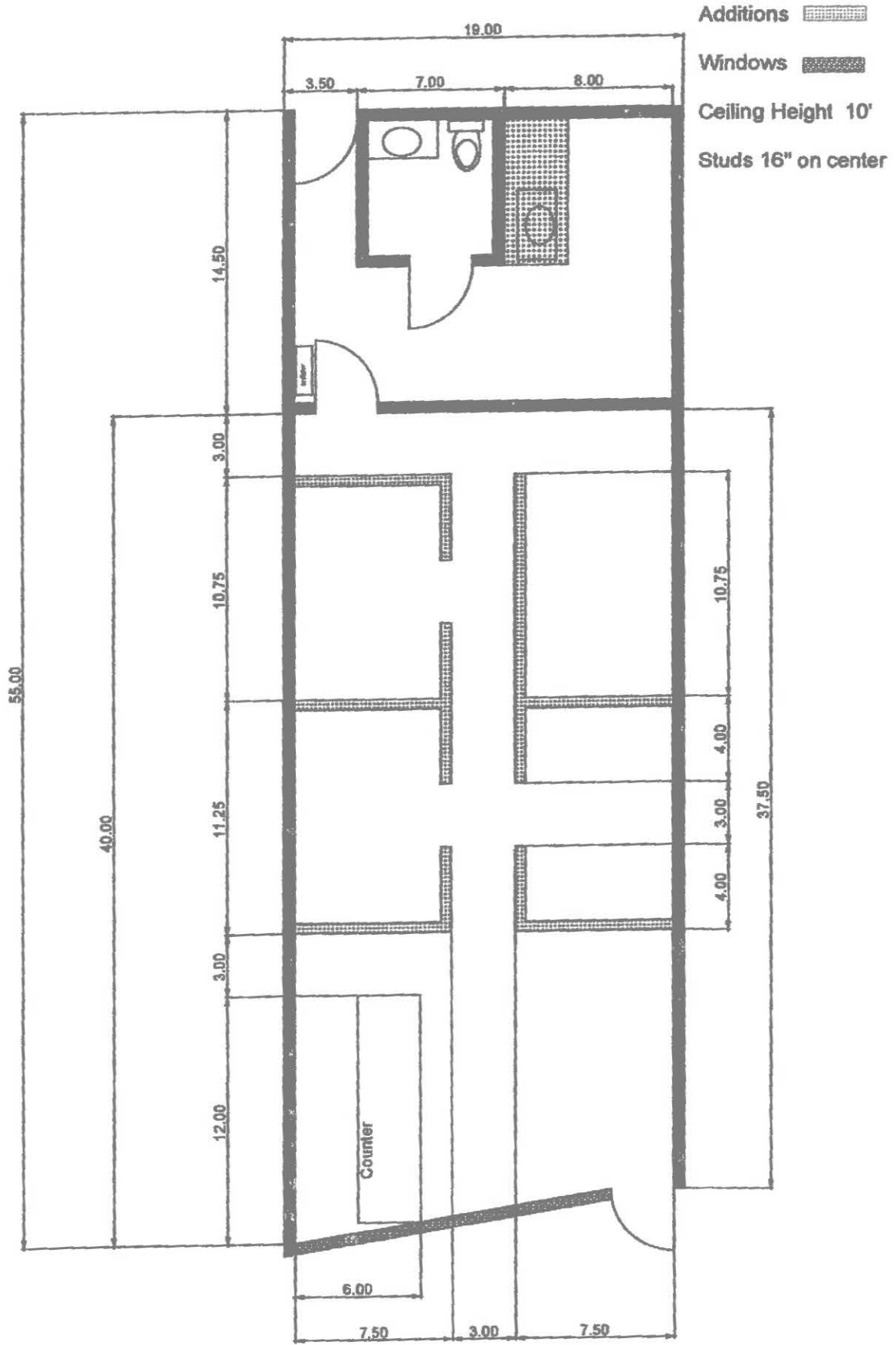
I \_\_\_\_\_  
(Home address)

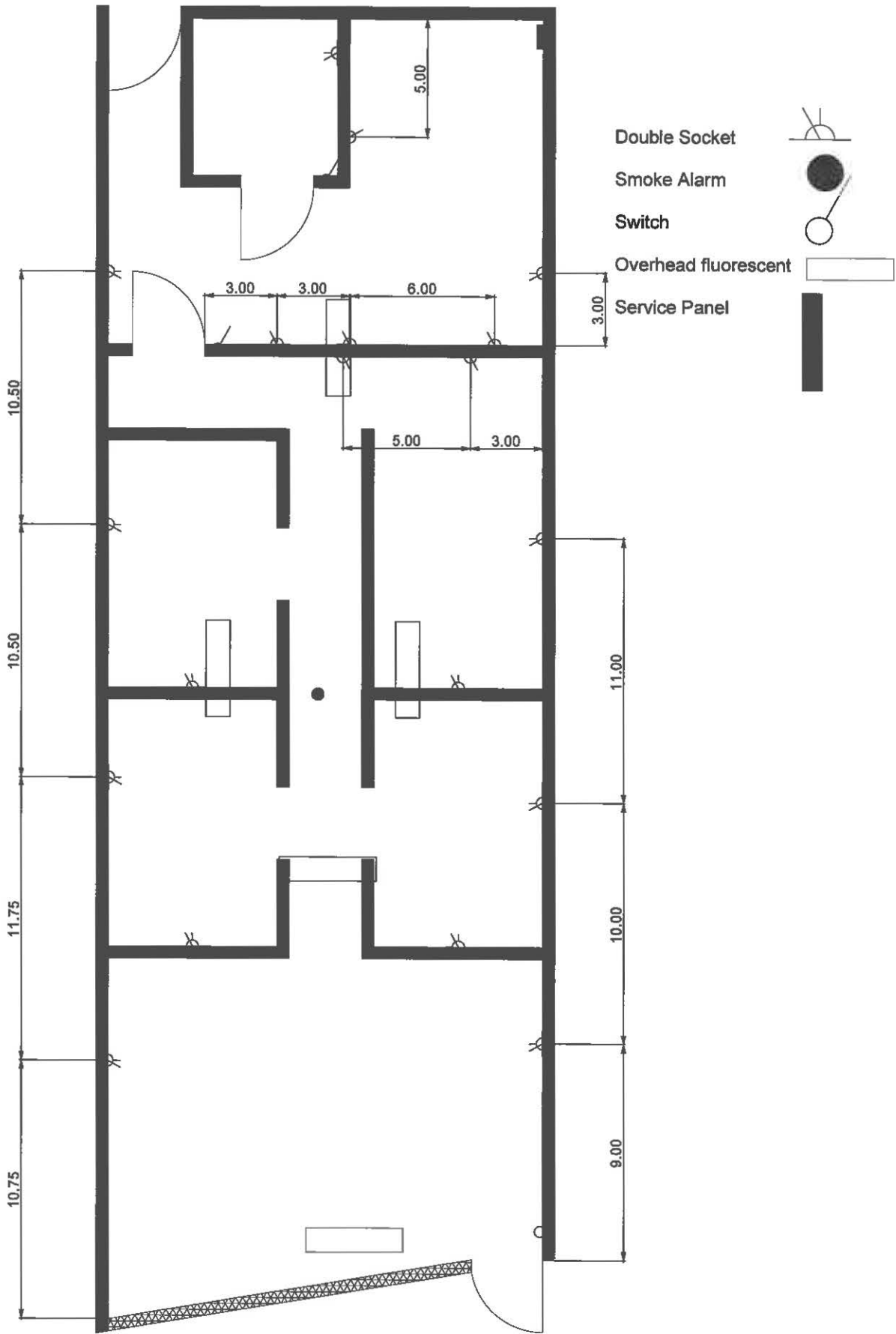
\_\_\_\_\_  
(City and State)

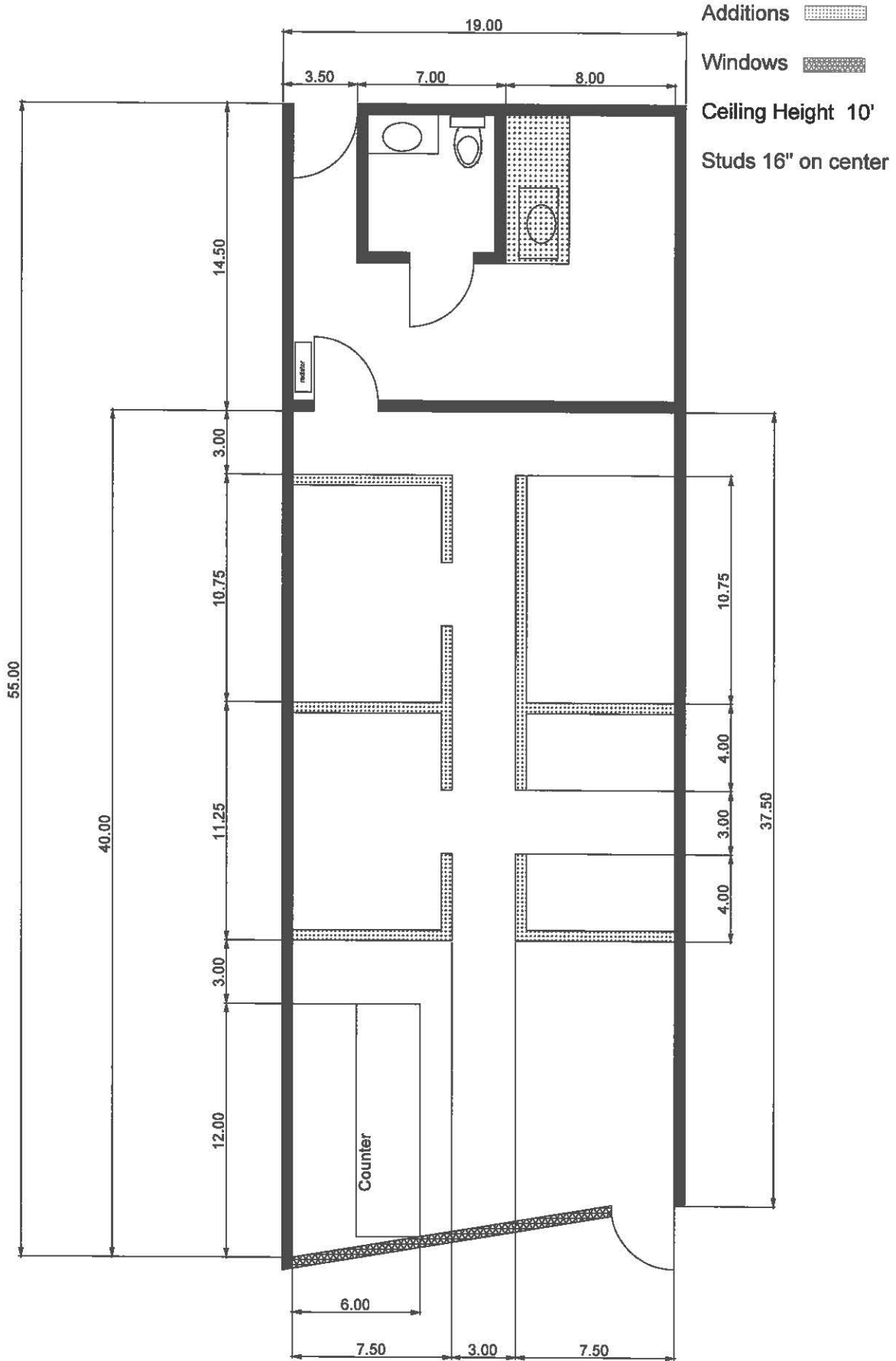
hereby grant the Berwyn Police Department and agents thereof, permission to run a computerized and/or fingerprint record check to determine any prior criminal history I may have. I understand that the above information will not be released to any other investigative agency without my prior permission.

SIGNED 

WITNESS: \_\_\_\_\_







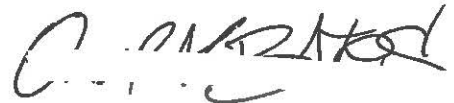
**NOTICE: ALL PARTIES IN INTEREST MUST SIGN AS APPLICANTS**

I (WE) HEREBY DEPOSE THAT ALL THE ABOVE STATEMENTS CONTAINED IN THIS PETITION AND THE PAPERS AND DOCUMENTS SUBMITTED HEREWITH ARE TRUE AND CORRECT.

Sworn to before me, this

Omar Bates

Applicant



Business Owner

26<sup>th</sup> day of August, 2020 Oh 3



Notary Public

(Notary Section must be completed)

Sworn to before me, this

Elizabeth Bates

Applicant



Business Owner

26<sup>th</sup> day of August, 2020 Oh 3



Notary Public

(Notary Section must be completed)

**OWNER, IF DIFFERENT THAN APPLICANT, MUST SIGN TO INDICATE CONSENT TO THE FILING OF THIS PETITION:**

Sworn to before me, this 28<sup>th</sup>

Anthony Calek

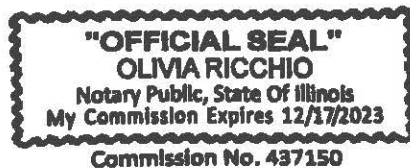
Property Owner (if different then Applicant)



day of AUGUST, 2020

Portfolio Manager

Interest





# City of Berwyn

6910 CERMAK ROAD, BERWYN, IL 60402

STAFF REPORT PREPARED BY THE BERWYN DEVELOPMENT CORPORATION



## APPLICANT & PROPERTY OWNER

Omar and Elizabeth Bates

## PROPERTY LOCATION, WARD, & ZONING

6910 Cermak Road, C-2 Traditional Mixed-Use District

## EXISTING LAND USE

Commercial

## LOT SIZE

Parcel Area: 6,700 SF

Parcel Width: 53'

## LEGAL DESCRIPTION

LOTS 159 AND 160 IN BERWYN GARDENS, SUBDIVISION OF THE SOUTH 127.3 FEET OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

## COMPREHENSIVE PLAN DESIGNATION

Neighborhood Transitional

## APPROVAL SOUGHT

The applicant requests that the City approve a Special Use Permit to establish a tattoo parlor use, which is a special use in the C-2 Traditional Mixed-Use District zone.

## EXISTING CONDITIONS

The existing three-story commercial building is located on a 6,700 SF lot. The adjoining property, addressed at 6908 Cermak Road, operates as a Personal Services Establishment.

## SUBMITTALS

1. Floor Plans
2. Electrical Plans
3. City of Berwyn Special Use Permit Application

---

## PROJECT DESCRIPTION

The Applicant requests a Special Use Permit to establish a tattoo parlor use at 6910 Cermak Road, which is designated as a C-2 Traditional Mixed-Use District. Tattoo parlors are designated as a Special Use in C-2 districts. The applicant has proposed a layout with five partitions, establishing separate workspaces for multiple tattoo artists. In addition, the back room will have a kitchen-style counter and sink, providing a proper sanitation station. The construction does not involve demolition or façade alterations.

---

## ZONING

The proposal, addressed at 6910 Cermak Road, is zoned as C-2 Traditional Mixed-Use District. The applicant is seeking a Special Use Permit to establish a tattoo parlor use. The C-2 Traditional Mixed-Use District is intended for moderate-intensity mixed-use and pedestrian-oriented development along Cermak and Roosevelt Roads. This district allows for a range of retail, service, office, and institutional uses.

The applicant shall meet C-2 Traditional Mixed-Use District Requirements as outlined in section §1246.05. The proposal's measurements are evaluated against the standards in the below table. There will be no changes to the exterior of the building as all build-out will be internal. The applicant is seeking a Special Use Permit for the tattoo parlor use.

## EXISTING AND REQUIRED SETBACKS

Front (south): 0' / Minimum Front Setback: 10'  
Side (east): 0' / Minimum Interior Side Setback: 0'  
Side (west): 0' / Maximum Corner Side Setback: 10'  
Rear (north): 20' / Minimum Rear Setback: 5'

*Surrounding Zoning & Land Use Compatibility*

	<b>Zoning Districts</b>	<b>Land Use</b>
<b>North</b>	R-1	Single-Family Residence District
<b>South</b>	C-2	Traditional Mixed-Use District
<b>East</b>	C-2	Traditional Mixed-Use District
<b>West</b>	C-2	Traditional Mixed-Use District

	<b>C-2 Zoning Standard Requirement</b>	<b>Proposal's Measurements</b>
<b>Minimum Lot Area</b>	3,000 SF	6,700 SF
<b>Minimum Lot Width</b>	25 ft	53 ft
<b>Maximum Principal Building Height</b>	65 ft and 5 stories	Meets principal building height requirement
<b>Maximum Impervious Coverage</b>	30 ft	Pre-existing structure
<b>Minimum Front Setback</b>	10 ft	Pre-existing structure
<b>Maximum Corner Side Setback</b>	10 ft	Pre-existing structure
<b>Minimum Interior Side Setback</b>	0 ft	Pre-existing structure
<b>Minimum Rear Setback</b>	5 ft	Pre-existing structure
<b>Minimum Street Frontage</b>	75%	Pre-existing structure
<b>Parking Location</b>	Rear yard; 1 double loaded bay permitted in interior side yard	N/A-need site plan.
<b>Minimum Transparency</b>	50% of street-facing facades between 2 ft and 8 ft above grade	Meets minimum transparency requirement
<b>Principal Entrance Location</b>	Front or corner side facade	Front
<b>Roof Types</b>	Parapet or flat	Flat

Table 1: The proposal evaluated against the C-2 zoning standards.

The special use is consistent with Berwyn's Comprehensive plan as the property is designated as "Neighborhood Transitional" in the Future Land Use Map. This designation abuts mixed-use and

neighborhood commercial areas, “with the intention of allowing a mix of uses, including retail, services, office, and residences. Such flexibility allows retail and office uses to congregate in the nodes while maintaining attractive and supportive residential uses within walking distance”. The proposed special use integrates well with the Cermak Corridor as it is full of a variety of commercial uses, from fast food restaurants to personal services establishments.

---

## INTER-DEPARTMENTAL REVIEW

### **Building Division:**

There are no comments from the Building Division.

### **Fire Department:**

There are no comments from the Fire Department.

### **Public Works:**

There are no comments from the Public Works Department.

### **Economic Development and Planning Services Division (Berwyn Development Corporation):**

The Economic Development and Planning Services Division (Berwyn Development Corporation) notes the following:

To be granted a Special Use Permit, applicants must show that they have affirmed each of the standards for approval for Special Use Permits outlined in Section §1252.03.04. Staff offers the following commentary on these standards with respect to this petition:

- a. *The proposed special use will not endanger the health, safety, comfort, convenience, and general welfare of the public.*
  - Staff finds that the proposed variation will not endanger the health, safety, comfort, convenience, and general welfare of the public. All construction and commercial activity will take place inside of the property. The property shall maintain conformance with zoning and building codes.
- b. *The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed variation.*
  - Staff finds that the proposal is compatible with the character of adjacent properties in the immediate vicinity of the proposed variation. The property is located between a beauty salon, which is a personal services establishment, and a tax preparation office. The proposal is in character with the dense, commercial nature of Cermak Road. The addition of a tattoo parlor will not further intensify the Cermak commercial corridor, which is already one of the most heavily trafficked roads in Berwyn. Furthermore, the proposal will not consist of any demolition or façade changes.
- c. *The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.*
  - Staff finds that the proposal will not obstruct normal and orderly development or improvements to properties within immediate vicinity of the proposed special use.
- d. *The proposed special use will be provided with adequate utilities, access roads, drainage, and/or other necessary facilities.*



- The applicant has stated that proper fire and drainage will be installed. In addition, the proposed special use shall also be provided with adequate utilities. During construction, the alley directly behind the property will be utilized to prevent obstruction along Cermak Road.
- e. *The proposed special use is consistent with the intent of the Comprehensive Plan, this Zoning Code, and the other land use policies of the city.*
  - The proposed special use is consistent with the intent of Berwyn's Comprehensive Plan. The subject property is in a designated "Neighborhood Transitional" zone, which allows for a "mix of uses, including retail, services, office, and residences". The tattoo parlor will blend in well with the mix of uses along Cermak Road.

---

## STAFF RECOMMENDATION

Staff recommends that the Special Use Permit is granted under the following conditions:

- a. The applicant shall install an awning sign to maintain unity in the building's facade. The applicant's new signage shall match the neighboring property's signage, addressed at 6908 Cermak Road, to maintain unity in the building's facade.

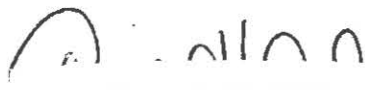
Special use approval runs with the property addressed at 6910 Cermak Road and is not affected by ownership, tenancy, or management change. The Special Use Permit approval shall expire or be revoked for any of the following reasons: (1) the applicant has failed to commence the tattoo parlor use or has not obtained a building permit within one year of approval, (2) required tattoo parlor licensing/permits are either not obtained or terminated, (3) standards of the Berwyn Zoning Code or terms and conditions of the Special Use Permit are violated, and (4) the tattoo parlor use ceases for a minimum continuous period of six months. It shall be noted that the applicant may request one extension, which shall be submitted in writing 30 days prior to the end of the one-year approval period.

---

## FINDINGS & RECOMMENDATIONS

The Berwyn Development Corporation has determined that the information presented has affirmed the Standards for Approval for a Special Use Permit, provided they meet required conditions. Based on the above considerations, the Berwyn Development Corporation recommends that the Berwyn City Council make the following motion recommending approval of the Special Use Permit.

Staff Report approved by:



David Hulseberg, AICP  
Executive Director, Berwyn Development Corporation

Mayor  
**Robert J. Lovero**



City Clerk  
**Margaret M. Paul**

**A CENTURY OF PROGRESS WITH PRIDE**

6700 W 26<sup>th</sup> Street • Berwyn, IL 60402 • Ph: (708) 788-2660 • Fax: (708) 788-2675 • Berwyn-IL.gov

**Zoning, Planning and  
Development Commission**

Joel Chrastka  
Douglas Walega  
Richard F. Bruen, Jr.  
Lance C. Malina  
Don Miller  
Rosina LaPietra  
Cathy Norden

H-2

November 5, 2020

**Re: Request for a Setback Variation for a Second Story Bungalow Addition in the R-2 Bungalow Zoning District at 1628 S. Cuyler Avenue**

Mayor Lovero and Members of the City Council:

Attached for your consideration are Findings of Fact from the Zoning, Planning and Development Commission relative to the request of Petitioner Patsy McEnroe for a variation to build a second story addition to an existing bungalow with a 12 1/2 foot setback from the front façade of the building, on property located within the R-2 Bungalow District, at 1628 S. Cuyler Avenue. Because the required second story addition setback for existing bungalows in the R-2 Bungalow District is fifteen (15) feet, the Petitioner needs a 2 ½ foot second story setback variation from Section 1246.11.B.1/Table 1246.11-A (R-2 District Requirements) of the Zoning Code in order to construct a second story addition with the 12 ½ foot setback she seeks. A variation may be granted where the standards in Section 1252.03 of the Zoning Code relative to variations are found to have been met. Attached to the Findings of Fact are Exhibits from the Public Hearing.

**The recommendation of the Zoning, Planning and Development Commission in this matter was to DENY the request for a variation, on a vote of 5-1.** Because this matter was recommended for denial by the Commission, I am not including an Ordinance for your consideration at this time. In order to concur with the recommendation of denial, the Council only needs to approve a motion. If the Council is inclined to approve the request for a variation after discussion however, I will prepare and send an Ordinance for your consideration.

Respectfully,

Lance C. Malina  
Executive Secretary,  
Berwyn Zoning, Planning and Development Commission



**FINDINGS OF FACT AND RECOMMENDATION OF THE  
CITY OF BERWYN ZONING, PLANNING AND DEVELOPMENT COMMISSION  
TO THE MAYOR AND CITY COUNCIL**

**ZPDC No. 20-05  
October 21, 2020**

**APPLICATION:** Request for a Variation to Build a Second Story Addition to an Existing Bungalow with a 12 1/2 Foot Setback from the Front Façade of the Building, instead of the Required 15-Foot Setback from the Front Façade of the Building, on Property Located within the R-2 Bungalow District, at 1628 S. Cuyler Avenue, Berwyn, Illinois.

**PETITIONER:** Patsy McEnroe

**PROPERTY:** 1628 S. Cuyler Avenue, Berwyn, Illinois (the “Property”)

**SUMMARY OF REQUEST AND RECOMMENDATION:** The City of Berwyn has received a request from Patsy McEnroe (“Petitioner”) for a variation to construct a second story addition to an existing bungalow with a setback of twelve and one-half (12 ½) feet from the front façade of the building, on the Property commonly known as 1628 S. Cuyler Avenue, in the R-2 Bungalow District. Because the second story addition setback for existing bungalows in the R-2 Bungalow District is fifteen (15) feet, the Petitioner needs a two and one-half (2 ½) foot second story setback variation from Section 1246.11.B.1/Table 1246.11-A (R-2 District Requirements) of the Zoning Code of the City of Berwyn (“Zoning Code”).

Following a public hearing held on October 21, 2020, the City of Berwyn Zoning, Planning and Development Commission voted five (5) in favor and one (1) opposed, to recommend **DENIAL** of the variation from the fifteen (15) foot setback requirement to the Mayor and City Council.

**BACKGROUND:** The Property consists of an existing bungalow style residence. The Property is in the R-2 Bungalow District, which requires a fifteen (15) foot setback for second story additions to existing bungalows. Petitioner originally requested a building permit with a plan that proposed only a six (6) foot setback from the front façade of the building. City Staff denied the permit request and informed Petitioner she would need a variation. The amended plan submitted with Petitioner’s request for a variation sought a twelve and one-half (12 ½) foot setback from the front façade of the house.

**PUBLIC HEARING:** At the public hearing on the variation request, the Petitioner, Patsy McEnroe, testified regarding the requested relief. She stated that she desired to increase living space, and planned to do so by renovating the attic for use, as opposed to demolishing the residence and building new. Petitioner applied for a building permit to do the same addition in 2017 but did not go forward for personal reasons. Although

Petitioner withdrew the application during the review process in 2017, she believes she would have been approved at that time, which was prior to the implementation of the new Zoning Code and the current second story setback requirement for existing bungalows.

Petitioner seeks a twelve and one-half (12 ½) foot setback, rather than the required fifteen (15) foot setback per current Zoning Code requirements in the District. She purchased the Property in 2013. She would like the expanded second floor to have a master suite and a second bathroom. There are presently two (2) bedrooms on the main floor.

Brett Michaelson of the Berwyn Development Corporation (“BDC”) testified that he had reviewed all of the submitted documents. He described the variation sought. He did not believe the variation process was generally intended to provide relief from bulk standards. Regardless, he did not find there to be an undue hardship here because the need for it was mainly for convenience. Michaelson also testified that he found the second story to be workable without the requested variation. He believed it would not take a lot of work to revise the plans to be Code compliant.

Exhibits marked during the course of the Public Hearing included: **City Group Exhibit 1**, which consisted of the published legal notice for the public hearing, and accompanying Certification of Publication, as well as the full application for the relief sought by Petitioner and supporting materials. **City Exhibit 2** consisted of the report prepared by the BDC.

There being no further questions or members of the public wishing to speak on the application, the Public Hearing was closed.

The members of the Zoning, Planning and Development Commission each then in turn expressed their views on the proposed variation. A majority of the Commissioners believed that there was no hardship present, and that the project could be done without the requested variation. Commissioner Miller moved to recommend denial of the requested variation to build a second story addition to the residence with a twelve and one-half (12 ½) foot setback from the front façade of the building instead of the fifteen (15) foot setback required by the Zoning Code. The Zoning, Planning, and Development Commission voted five (5) in favor and one (1) opposed to recommend denial of the variation to the Mayor and City Council.

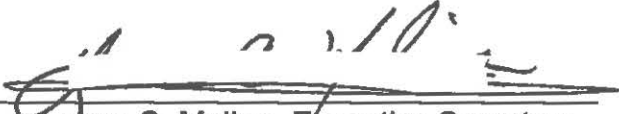
**FINDINGS:** The Zoning, Planning, and Development Commission makes the following Findings as to the proposed variation:

- (A) The proposed variation will not endanger the health, safety, comfort, convenience, and general welfare of the public.** The Zoning, Planning and Development Commission finds that the variation, as presented, would not endanger the health, safety, comfort, convenience and general welfare of the public.

- (B) **The proposed variation is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed variation.** The Commission finds this standard to have been met.
- (C) **The proposed variation will not substantially diminish the value of adjacent properties and other property within the immediate vicinity of the proposed variation.** The Zoning, Planning and Development Commission finds that the proposed variation would not substantially diminish the value of adjacent properties within the immediate vicinity of the Subject Property because the residential use of the property is consistent with the character of the neighborhood and adjacent properties.
- (D) **The proposed variation alleviates a particular hardship created by the literal enforcement of this Zoning Code that would prevent the applicant from yielding a reasonable return from the subject property.** A majority of the Zoning, Planning and Development Commission finds that this standard has not been met. Petitioner has failed to demonstrate a hardship, and the majority do not find the variation to be necessary. One Commissioner finds this standard to have been met.
- (E) **The proposed variation is necessary to permit a reasonable use of land, but does not confer a special privilege on the applicant which is denied to the owners of adjacent properties and other properties within the immediate vicinity of the proposed variation.** A majority of the Zoning, Planning and Development Commission finds that the proposed variation was not necessary to permit a reasonable use of land, as the project could be accomplished without this small variation.
- (F) **The proposed variation represents the minimum deviation from established standards necessary to accomplish the desired improvement of the subject property.** A majority of the Zoning, Planning and Development Commission finds that the requested setback variation was not necessary in order to build out the second story into usable space.
- (G) **The proposed variation is consistent with the intent of the Comprehensive Plan, the Zoning Code, and the other land use policies of the city.** A majority of the Zoning, Planning and Development Commission find that the variation to allow less than the required setback from the front façade of the existing bungalow was not consistent with the intention of the Zoning Code, which specifically imposes this requirement for additions to existing bungalows.

**RECOMMENDATIONS:** Based upon the foregoing Findings, the Zoning, Planning, and Development Commission, by a vote of five (5) in favor and one (1) opposed, recommends DENIAL to the Mayor and City Council of the requested variation to build a second story addition to the existing bungalow-style residence with a twelve and one-

half (12 ½) foot setback from the front façade of the building, instead of the fifteen (15) feet required by the Zoning Code, on the Property in the R-2 Bungalow District at the address commonly known as 1628 S. Cuyler Avenue, Berwyn, Illinois.

Signed:   
Lance C. Malina, Executive Secretary  
Zoning, Planning and Development  
Commission  
City of Berwyn

**NOTICE:  
THE ZONING, PLANNING AND DEVELOPMENT COMMISSION OF  
THE CITY OF BERWYN  
WILL HOLD A  
REGULAR MEETING AND PUBLIC HEARING**

**WEDNESDAY, OCTOBER 21, 2020  
IN THE  
CITY OF BERWYN COUNCIL CHAMBERS,  
SECOND FLOOR  
6700 WEST 26<sup>TH</sup> STREET, BERWYN, ILLINOIS.  
7:00 P.M.**

**PUBLIC COMMENT PROCEDURES:** Physical spacing will be observed, and public access to the physical meeting site may be limited due to the ongoing public health emergency, but access to the meeting location for public commenters will be facilitated. Public comments can also be submitted by email to the City's Administrative Manager, Claudia E. Ayala at [cayala@ci.berwyn.il.us](mailto:cayala@ci.berwyn.il.us) or in written format placed in the drop box slot in front of City Hall, addressed to Claudia Ayala, from the time of posting of this Agenda on Friday, October 16th, through Wednesday, October 21, at 4:45 pm.

**The Agenda for the Meeting and Public Hearing Follows:**

**A G E N D A**

1. CALL TO ORDER

2. ROLL CALL

JOEL CHRASTKA, CHAIRMAN

RICHARD F. BRUEN, JR.

ROSINA LaPIETRA

LANCE MALINA, EXEC. SEC'Y

DONALD MILLER

CATHY NORDEN

DOUG WALEGA

3. PLEDGE OF ALLEGIANCE

4. APPROVAL OF MINUTES – SEPTEMBER 16, 2020 REGULAR MEETING & PUBLIC HEARING

5. READING OF ANY CORRESPONDENCE RECEIVED

6. OLD BUSINESS

7. PUBLIC HEARING – ZPDC NO. 20-05 – REQUEST FOR A VARIATION TO BUILD A SECOND STORY ADDITION WITH LESS THAN THE REQUIRED FIFTEEN (15) FOOT FRONT SETBACK ON A BUNGALOW LOCATED WITHIN THE R-2 BUNGALOW



**ZONING DISTRICT, AT 1628 S. CUYLER AVENUE, BERWYN, ILLINOIS – PETITIONER:  
PATSY MCENROE.**

**A. PUBLIC HEARING to consider Petitioner’s request for a Variation to build a second story addition with less than the required fifteen (15) foot front setback on a bungalow located within the R-2 Bungalow Zoning District, at the address commonly known as 1628 S. Cuyler Avenue, Berwyn, Illinois. A variation to allow the second story addition to be less than fifteen (15) feet from the front façade of the residence may be granted where the standards applicable to variations set forth in Section 1252.03.D.6. of the Zoning Code are found to have been met. Petitioner: Patsy McEnroe.**

**B. DISCUSSION, MOTION AND RECOMMENDATION by the Zoning, Planning and Development Commission to the Berwyn City Council regarding the request of Petitioner set forth in 7.A. above.**

**8. NEW BUSINESS**

**9. PUBLIC COMMENT**

**10. ADJOURNMENT**

**cc: City Clerk Margaret Paul  
Building Director Charles D. Lazarra  
Applicable Media**



CITY OF BERWYN  
ZONING, PLANNING AND DEVELOPMENT COMMISSION  
MINUTES OF THE REGULAR MEETING & PUBLIC HEARING HELD ON  
WEDNESDAY, SEPTEMBER 16, 2020 AT 7:00 P.M.

1. Call to Order. The Meeting of the Berwyn Zoning, Planning and Development Commission (“Commission”) was called to Order at 7:00 p.m.

2. Roll Call.

Present: Chairman Chrastka, Commission Members Bruen, Miller, Walega, Norden, LaPietra and Executive Secretary Malina.

Absent: None.

Also Present: David Hulseberg, Berwyn Development Corporation  
Omar and Elizabeth Bates, Petitioners

A Quorum was present.

3. Pledge of Allegiance.

4. Approval of Minutes: May 20, 2020 Regular Meeting and Public Hearing. Member Bruen made a motion to approve the minutes of the May 20, 2020, Regular Meeting and Public Hearing. The motion was seconded by Member Walega. The Motion was approved unanimously on a roll call vote.

5. Reading of Correspondence – None.

6. Old Business – None.

7. PUBLIC HEARING – ZPDC NO. 20-04 - REQUEST FOR APPROVAL OF A SPECIAL USE PERMIT TO LOCATE A TATTOO PARLOR WITHIN THE C-2 TRADITIONAL MIXED-USE ZONING DISTRICT, AT 6910 W. CERMAK ROAD, BERWYN, ILLINOIS – PETITIONER: OMAR AND ELIZABETH BATES, D/B/A BERWYN CUSTOM TATTOO COMPANY.

A. PUBLIC HEARING – A Motion was made by Member Norden, seconded by Member Miller, to open the public hearing. The motion was approved unanimously on a roll call vote, and the public hearing was opened.

At the public hearing on the special use request, David Hulseberg, Executive Director of the Berwyn Development Corporation, testified, as did Petitioners Elizabeth Bates and Omar Bates. All those who testified were sworn.

There is an existing three-story commercial building on the property located at 6910 W. Cermak. No demolition or façade alterations are proposed by the Petitioner.

Petitioner Elizabeth Bates testified that Petitioner Omar Bates has been in the body art industry for twenty five (25) years. Petitioners owned "Skinibrations" in Oak Park for fifteen (15) years. That establishment is closed and they are seeking a new location. They chose the 6910 W. Cermak location and seek to establish an open concept there, with individual spaces having half walls, so there is openness yet privacy at the same time. There will be four (4) artists total but they may have more. Petitioners think the location is good; it is close to Oak Park Avenue. They will add necessary electrical and plumbing utilities. There is a beauty salon on one adjacent side to the proposed location, and the space on the other side is vacant. Petitioners will hire contractors to do the interior build-out work.

Petitioner Omar Bates testified that a certification from the State is needed in order to do body art in Illinois. He has held such a certification for many years.

Elizabeth Bates further testified that when the business initially opens, she will be the only support staff. There could be up to seven people inside the establishment in addition to customers. The business will be open from 12 noon to 8:00 p.m. seven (7) days a week.

Mr. Hulseberg noted that the Berwyn Development Corporation ("BDC") had reviewed the petition and submitted recommendations, including two (2) proposed conditions regarding an awning and signage intended to ensure the exterior maintains unity of façade design with the adjacent beauty shop use. Petitioners confirmed they agree to the awning and signage conditions suggested by the BDC as a condition of approval in its staff report.

There being no questions, comments or members of the public wishing to speak on the application, the Public Hearing was closed on a unanimous vote following a motion by Commissioner Walega, seconded by Member Miller.

Exhibits marked during the course of the Public Hearing included: **City Group Exhibit 1**, which consisted of the published legal notice for the public hearing, and accompanying Certification of Publication, as well as the full application for the relief sought by Petitioner and supporting materials. The report submitted by the BDC was marked as **Exhibit 2**. The motion to admit the Exhibits was made by Commissioner LaPietra, seconded by Commissioner Bruen, and was unanimously approved.

B. DISCUSSION, MOTION AND RECOMMENDATION by the Zoning, Planning and Development Commission to the Berwyn City Council regarding the request of Petitioner set forth in 7.A. above.

The members of the ZPDC each in turn expressed their views on the Proposed Tattoo Parlor Use. Following discussion, a motion to recommend approval of the Special Use permit for the Proposed Tattoo Parlor Use to the Mayor and City Council, with the following conditions, as suggested by the BDC, was made by Commissioner Bruen, seconded by Commissioner Norden:

- The Petitioners shall install an awning sign to maintain unity in the building's façade; and
- The Petitioner's new signage shall match the neighboring property's signage at 6908 W. Cermak Road, to maintain unity in the building's façade.

The ZPDC vote to recommend that the City Council APPROVE the requested Special Use permit for the Proposed Tattoo Parlor Use with the conditions suggested by the BDC was seven (7) in favor, zero (0) opposed, and zero (0) absent. Members voted as follows:

Ayes: Chrastka, Bruen, Norden, Walega, Miller, LaPietra, Malina

Nays: None

Absent: None

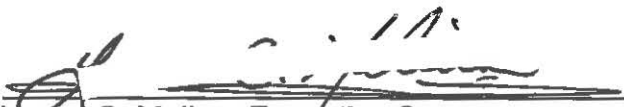
8. New Business. None.

9. Public Comment. None.

10. Adjournment. A motion to adjourn the Meeting was made by Member Bruen and seconded by Member Miller. The Motion was approved unanimously, and the Meeting was adjourned at 7:21 p.m.

Approved: October 21, 2020

Signed:

  
Lance C. Malina, Executive Secretary  
Zoning, Planning and Development  
Commission, City of Berwyn

## LEGAL NOTICE/NOTICE OF PUBLIC HEARING

Notice is hereby given to all interested persons that the City of Berwyn Zoning, Planning and Development Commission will hold a public hearing on Wednesday, the 21<sup>st</sup> day of October, 2020, in the City of Berwyn Council Chambers on the second floor, located at 6700 West 26<sup>th</sup> Street, Berwyn, Illinois, at the hour of 7:00 P.M. or as soon thereafter as the business of the Zoning, Planning and Development Commission permits, to consider the following:

The request of the applicant Patsy McEnroe (the "Applicant") for a Variation to build a second story addition without the required 15-foot front setback on a bungalow located within the R-2 Bungalow Zoning District, at the address commonly known as 1628 S. Cuyler Avenue, Berwyn, Illinois, and legally described as follows:

LOT 11 (EXCEPT THE NORTH 5 FEET THEREOF) AND THE NORTH 10 FEET OF LOT 12 IN BLOCK 4 IN WILLIAM A. BOND AND COMPANY'S SECOND DOUGLAS PARK "L" ADDITION, A SUBDIVISION OF LOTS 2 AND 3 OF CIRCUIT COURT PARTITION OF THE WEST HALF OF THE NORTHWEST QUARTER AND THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 16-20-300-030-0000

COMMONLY KNOWN AS: 1628 S. Cuyler Avenue, Berwyn, Illinois

The Applicant seeks to add a second story addition to the existing residence on the property with a proposed setback of 12.5 feet from the front façade of the home. Because the minimum setback from the front façade for a second story addition to a bungalow in the R-2 Zoning District is 15 feet, the Applicant must obtain a variation from the setback requirement set forth in § 1246.11.B.1./Table 1246.11-A. (R-2 District Requirements) of the Zoning Code of the City of Berwyn in order to construct the second story addition with a 12.5 foot setback. A variation to allow the second story addition to be less than 15 feet from the front façade of the residence may be granted where the standards applicable to variations set forth in Section 1252.03.D.6. of the Zoning Code are found to have been met.

During the Public Hearing the Zoning, Planning and Development Commission will hear testimony from and consider any evidence presented by persons interested to speak on this matter. In addition, objections and other comments, if any, relating to the proposed Variation request may be submitted to the Building Director, 6700 West 26<sup>th</sup> Street, Berwyn, Illinois, prior to 4:00 P.M. the day of the Public Hearing.

The Public Hearing may be continued from time to time without further notice, except as otherwise required under the Illinois Open Meetings Act.

Dated this 30th Day of September, 2020

By Order of the City of Berwyn Zoning, Planning and Development  
Commission  
Lance Malina, Executive Secretary.

**CITY OF BERWYN - ZONING PETITION**  
**- VARIATION**

**I. GENERAL INSTRUCTIONS**

1. Please submit THREE (3) copies of this Petition Form and THREE (3) copies of all other exhibits, plans, data, and miscellaneous documents required to be submitted.
2. All copies must be received no later than 60 days from the date on the Denial Letter in the office of the Executive Secretary of the Zoning, Planning, and Development Commission, at the following address:

Lance C. Malina, Executive Secretary  
Berwyn Zoning, Planning, and Development Commission  
c/o Klein, Thorpe and Jenkins, Ltd.  
20 N. Wacker Drive, Suite 1660  
Chicago, IL 60606-2903

If you have any questions for the Executive Secretary, he may be reached at 312-984-6439.

3. Materials required to be included in your submitted Petition package include:
  - a. A receipt for applicable Hearing Fee paid to the City Collector. You may pay the Hearing Fee at City Hall. Upon payment, you will be provided with a receipt. **BE CERTAIN TO INCLUDE A COPY OF THE PAID RECEIPT WITH THE PETITION FORMS.**
  - b. A receipt for the \$300 publication fee previously paid to the City Collector. You must pay your publication fee to the City Collector. Upon payment, you will be provided with a receipt. **BE CERTAIN TO INCLUDE A COPY OF THE PAID RECEIPT WITH THE PETITION FORMS.**
  - c. A signed completed copy of this Petition, with Sections II and III fully completed and executed.
  - d. An 8 ½" x 11" depiction of the Property, showing the location of buildings, streets, sidewalks, parking areas, and the like as necessary to depict your proposed usage of the Property.
  - e. A copy of the permit request made to the Zoning or Building Commissioner, from which this Petition arises.
  - f. A copy of notice mailed by you to the Building or Zoning commissioner advising him that you are appealing the matter to the Zoning Administrator or the Zoning, Planning, and Development Commission.
  - g. A copy of a survey of the property should be submitted if available.

**UPON RECEIPT OF A FULLY COMPLETED APPLICATION, YOU WILL BE NOTIFIED OF THE NEXT AVAILABLE HEARING DATE, WHICH IS DEPENDENT ON THE MEETING SCHEDULE OF THE ZONING, PLANNING, AND DEVELOPMENT COMMISSION AND THE NEED TO COMPLY WITH STATUTORILY REQUIRED TIMELINES FOR ADVANCE PUBLICATION AND NOTICE OF THE HEARING.**

**II. GENERAL INFORMATION**

Please provide all of the requested information below. If you fail to provide all of the requested information, your Petition may be rejected as incomplete.

1. Does this application meet the requirements for a Minor Variation? If yes, please cite the provision of §1252.03(D)(2)(a) under which the request falls. Yes, application meets req for minor variation per code section 1252.03(D)(2)(a)(4)- front yard required depth reduction by 17%

2. Full common address or location of the property for which zoning relief is sought (the "Property"):  
1628 Cuyler Ave

3. Legal Description of the Property (obtain from Deed, Survey or Title Policy) (attach additional sheet if necessary)  
see attached Exhibit 1

4. Permanent Index Number of the Property: 16-20-300-030-0000

5. Size of the Property (in square feet or acres): 4,424 sf

6. Contact Information:

<b>Applicant(s)</b>	<b>Property Owner(s) (if different from Applicant)</b>
Name <u>Patsy McEnroe</u>	Name <u>n/a</u>
Address <u>1628 Cuyler, Berwyn, IL</u>	Address _____
Telephone (____) _____-_____	Telephone (____) _____-_____
Telephone (____) _____-_____	Telephone (____) _____-_____
Fax (____) _____-_____	Fax (____) _____-_____
E-mail _____	E-mail _____
<b>Agent/Attorney</b>	
Name <u>n/a</u>	Address _____
Telephone (____) _____-_____	_____

7. If the Property is in a trust, provide name, address and number of trust.

n/a

8. Briefly describe Applicant's interest in the Property. If Applicant is not the Owner of Record, please attach copies of: i. the purchase contract or other documents in support of Applicant's interest; and ii. written permission from the current Owner of Record to petition the Village:

I am the property owner and reside on the property

9. Are there any leases, offers or contracts to sell or buy, options, etc., in existence which affect the present or future ownership or interest in the affected Property (include the type of transaction, the parties thereto, dates of execution of documents referred to, and the actual consideration involved in the transaction). If so, please describe:

No, n/a

10. Are any of these transactions described in 9. above contingent upon Zoning relief being granted? If, so, explain in detail.

No, n/a

11. What is the current Zoning designation of the Property: R-2

12. Describe the Zoning Relief you are seeking:

To reduce 2nd floor addition required setback from front wall from 15ft to 12.5ft

13. Has the Property, to the best of your knowledge, previously been the subject of a request for zoning relief? If, so, explain in detail: (1) the date of the Hearing; (2) the relief requested; (3) the outcome of the Hearing; and (4) the applicant:

No, I have no knowledge if the property was previously subject to zoning relief request



14. Describe any existing structures on the Property:

1 1/2 story brick bungalow, detached 1 car garage

15. Give a brief description of the proposed construction, rehabilitation or other work that will be performed at the Property, if any:

2nd floor addition, see Item D for plan and 3D

16. Describe any private parking facilities proposed and number of cars accommodated:

detached 1 car garage

17. Please complete the following questions for each of the structures and each of the lots involved. Refers to both existing and proposed structures.

(a) Height to top of flat roof -- deck line of mansard to mean height level of gable and hip roofs of the structure: exist'g mean rf ht: 17.5ft, mean ht of dormer: 20ft, proposed mean rf ht 23ft

1. Approximate height of the immediately adjoining buildings on each side:  
house to the north: 2 full story, mean rf ht: 26ft  
house to the south: 1 1/2 story bungalow mean rf ht: 17.5ft, mean ht dormer: 20ft

(b) Set back from front lot line to the structure: 15.03 ft

1. Approximate set back of the immediately adjoining building on each side:  
house to the north: 15ft  
house to the south: 15ft

(c) Rear yard depth of the structure: exist'g 59.29ft, proposed 71.84 ft

1. Approximate rear yard depth of the immediately adjoining building on each side:  
house to the north: 66ft  
house to the south: 47ft

(d) Side yard (both sides) from most extreme projection of wall of structure:  
south: 4.92ft, north: 5.02ft

1. Side yard as above of the immediately adjoining buildings on each side:  
house to the north: south side setback 5.74ft  
house to the south: north side setback 6.05ft

(e) Width of inner court (if any) of the structure: n/a

(f) Width of outer court (if any) of the structure: n/a

(g) Length of the structure: exist'g: 52ft , proposed: 27ft

(h) Width of the structure: exist'g: 25.15ft, proposed: 25ft

(i) Width, depth and square footage of this lot: 35ftx126.40ft ; 4,424 sf

(j) Width, depth and square footage of total lot area involved in this project:  
25x27, 800 sf

(k) Number of square feet of total lot area occupied by principal building on lot: 1,310 sf

(l) What percentage of the total lot area is occupied by the structure: 100%

(m) Number of apartments proposed: 1 dwelling unit, single family

(n) Square footage of EACH apartment proposed: n/a

18. What are the current land uses and zoning on and around the site?

	<u>Current Zoning</u>	<u>Land Uses</u>
On Site	<u>R-2</u>	<u>single family</u>
North of Site	<u>R-2</u>	<u>single family</u>
South of Site	<u>R-2</u>	<u>single family</u>
East of Site	<u>R-2</u>	<u>single family</u>
West of Site	<u>R-2</u>	<u>single family</u>

**III. EVIDENCE IN SUPPORT OF PETITIONER'S VARIATION REQUEST**

NOTE: This entire application and petition shall become a part of your hearing records. You are encouraged to set forth all arguments, evidence and exhibits (whether requested or not) in full support of your appeal within and made a part of this petition. Use additional pages if necessary.

1. Fully describe, in detail, the variation(s) requested from the requirements of the zoning district in which the property is located (NOTE: only those variations specified will be able to be considered by the Zoning Administrator or Zoning, Planning, and Development Commission):

---

minor variation request per code section 1252.03(D)(2)(a)(4)  
to reduce required 15ft front yard depth to 12.5ft (reduction by 17%)

---

2. In the case of a Minor Variation, the Zoning Administrator, or in the case of a Major Variation, the Zoning, Planning, and Development Commission, after public hearing, is required to make findings, based upon the evidence presented to it in each specific case, as to whether each of the standards below has been met. Please state how each standard is satisfied in your particular case:

a. The proposed variation will not endanger the health, safety, comfort, convenience, and general welfare of the public.

---

The proposed addition will not impose danger to the health, safety, comfort, convenience and general welfare of the public. The addition is significantly lower than max allowed height

---

b. The proposed variation is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed variation.

---

The proposed variation is compatible with the character of adjacent properties and neighborhood

---

---

The existing front and rear dormers will stay untouched as well as the front and rear roof that is not in limits of addition

---

c. The proposed variation will not substantially diminish the value of adjacent properties and other property within the immediate vicinity of the proposed variation.

---

The proposed addition is only 800 sf and utilizes existing unfinished attic. Therefore; it will not diminish the value of adjacent properties and neighborhood

---

d. The proposed variation alleviates a particular hardship created by the literal enforcement of this Zoning Code that would prevent the applicant from yielding a reasonable return from the subject property.

---

The proposed addition is designed around existing 1st floor layout, existing access stair to unfinished attic and existing plumbing stacks. The variation will allow to work around those

---

e. The proposed variation is necessary due to the unique attributes of the subject property, which were not deliberately created by the applicant, and are not shared by adjacent properties and other properties within the immediate vicinity of the proposed variation.

---

The current 1st floor layout limits the size of room at 2nd floor addition as described in item d

---

f. The proposed variation is necessary to permit a reasonable use of land, but does not confer a special privilege on the applicant which is denied to the owners of adjacent properties and other properties within the immediate vicinity of the proposed variation.

---

The variation will not grant a special privilege to me. As per exhibit 2 there are much larger additions/ homes constructed in the neighborhood

---

g. The proposed variation represents the minimum deviation from established standards necessary to accomplish the desired improvement of the subject property.

---

The proposed variation represents the minimum deviation from established standards with the front yard reduction less than 20%

---

h. The proposed variation is consistent with the intent of the Comprehensive Plan, the Zoning Code, and the other land use policies of the city.

---

Yes, proposed variation is consistent with the intent of the Comprehensive Plan, the Zoning Code and the other City policies.

---

3. Do you have any further evidence to present in support of your petition? If so, attach a supplemental sworn statement hereto specifying the facts fully.

No

**NOTICE: ALL PARTIES IN INTEREST MUST SIGN AS APPLICANTS**

I (WE) HEREBY DEPOSE THAT ALL THE ABOVE STATEMENTS CONTAINED IN THIS PETITION AND THE PAPERS AND DOCUMENTS SUBMITTED HERewith ARE TRUE AND CORRECT.

Sworn to before me, this \_\_\_\_\_

Applicant Patsy McEnroe

day of \_\_\_\_\_, 20\_\_\_\_

Owner

Interest

\_\_\_\_\_  
Notary Public  
(Notary Section must be completed)

Sworn to before me, this \_\_\_\_\_

Applicant

day of \_\_\_\_\_, 20\_\_\_\_

Interest

\_\_\_\_\_  
Notary Public  
(Notary Section must be completed)

**OWNER, IF DIFFERENT THAN APPLICANT, MUST SIGN TO INDICATE CONSENT TO THE FILING OF THIS PETITION: n/a**

Sworn to before me, this \_\_\_\_\_

Property Owner (if different then Applicant)

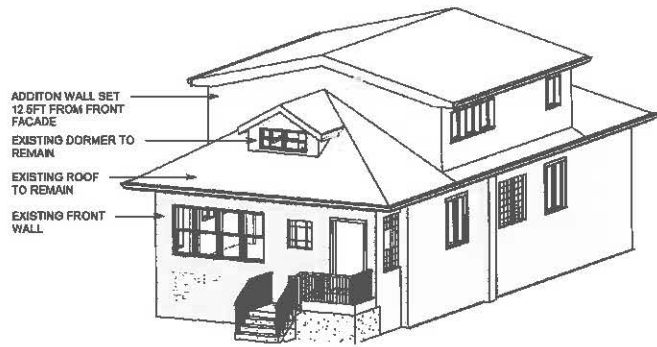
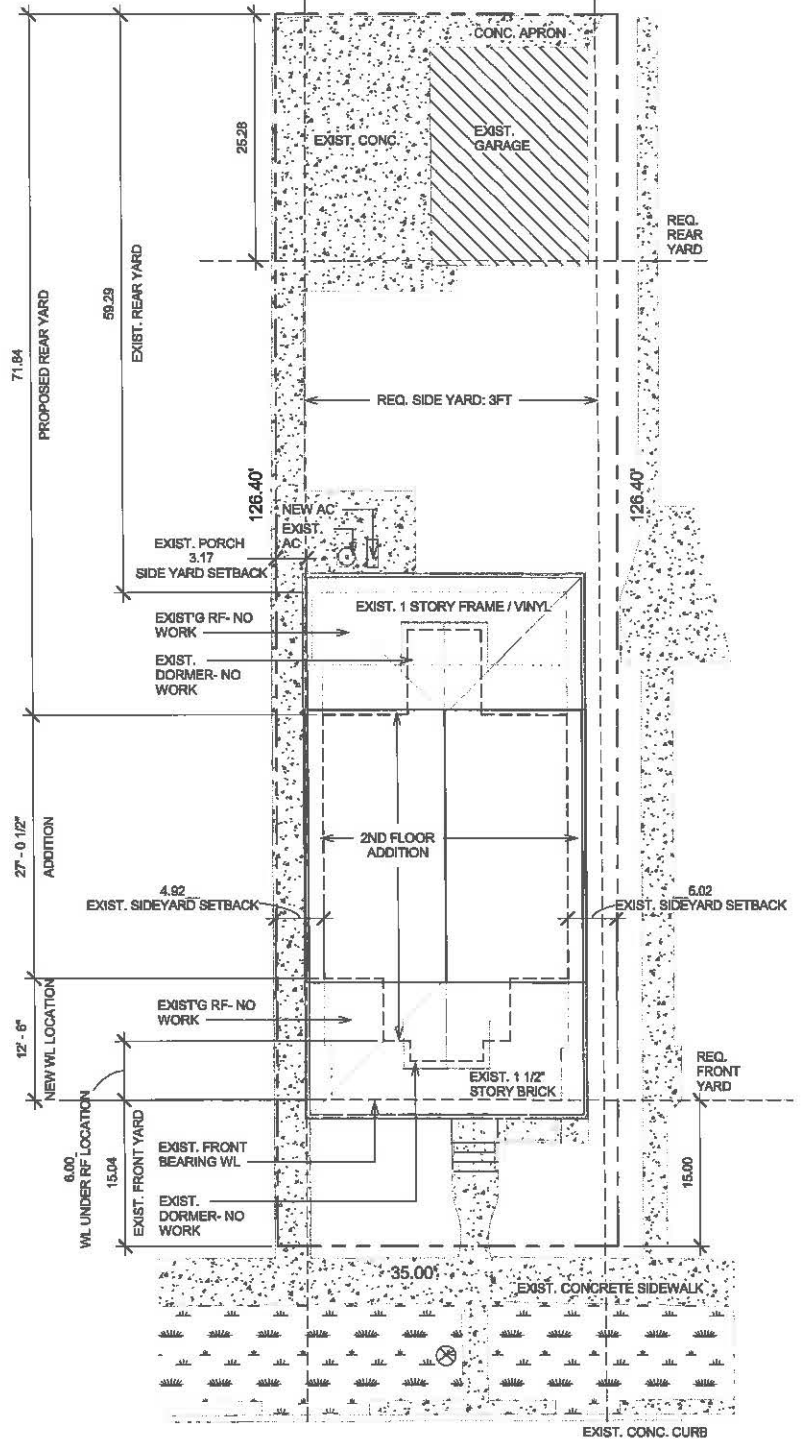
day of \_\_\_\_\_, 20\_\_\_\_

Interest

\_\_\_\_\_  
Notary Public  
(Notary Section must be completed)

16FT PUBLIC ALLEY

35.00'



CUYLER AVENUE

LOT 11 (EXCEPT THE NORTH 5 FEET THEREOF) AND THE NORTH 10 FEET OF LOT 12 IN BLOCK 4 IN WILLIAM A. BOND AND COMPANY'S SECOND DOUGLAS PARK "L" ADDITION, A SUBDIVISION OF LOTS 2 AND 3 OF CIRCUIT COURT PARTITION OF THE WEST HALF OF THE NORTHWEST QUARTER AND THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.





1965B4C7-A3DE-43CF-BC7E-ED2B690D0989\_1...



199F7135-DE53-4321-B69E-8F61907148A4\_1\_1...

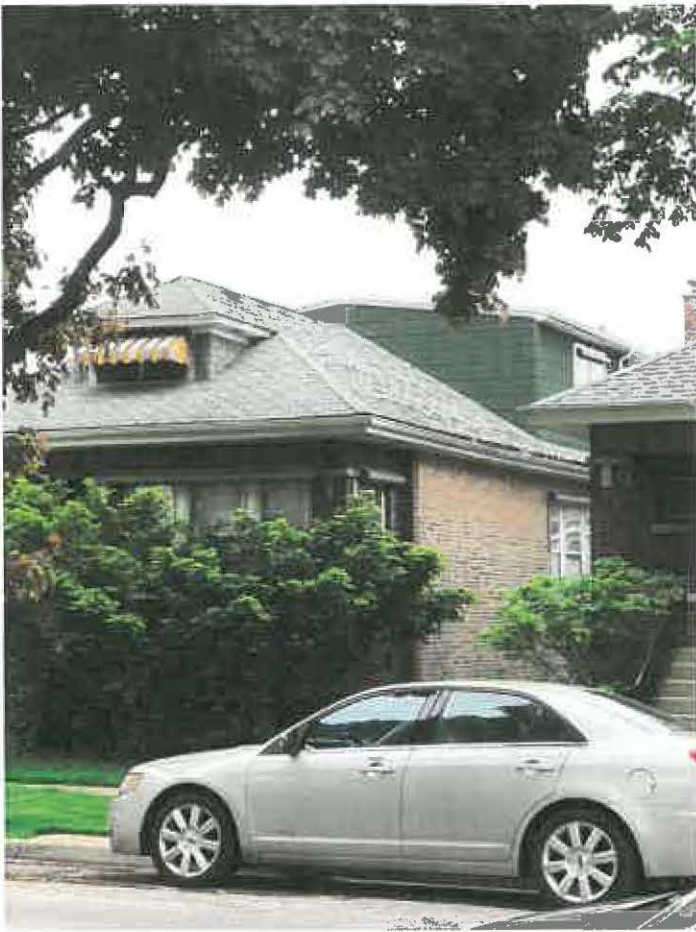


4BAD7F14-DCB5-4A74-9F84-AFE30A94C69D\_1...

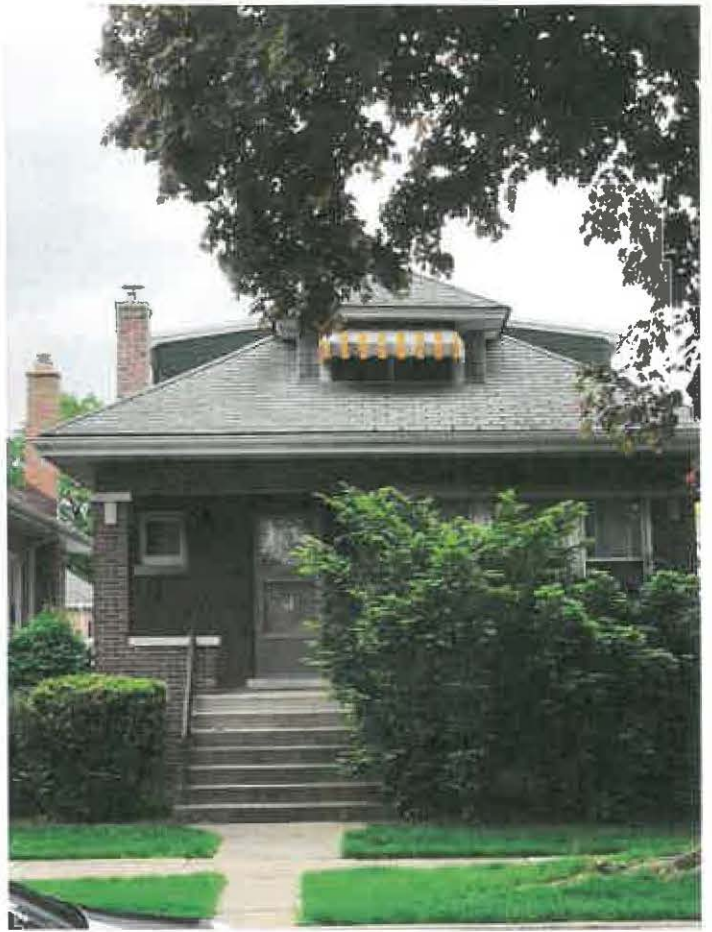


7A387DAF-DB3A-4823-89F4-A16E64557062\_1\_...





11148F3E-AAB6-4F95-8C77-60EDE59436E9\_1\_...



151229BE-305C-4345-ABCB-2E0257EEA7C6\_1\_...



C106DC8F-94B5-4DD3-AE67-353FF3FA7140\_1\_...



11B38ADC-1F10-4302-9D6F-67ECC2C2377C\_1\_...





A2AEDC7D-4F4E-4587-99FC-0C159BD275AE\_1...



21CB1DD6-3652-4E2B-BB62-E19DAB6756EB\_1...



504DCC3D-93D1-4D7A-A97E-F738634016F4\_1...



E0A3B381-180F-4D0C-AB66-DDB2CB443F02\_1...





FE81EC91-2757-4138-9EF9-57F4685A8F56\_1\_...



85C62943-B322-4A35-95CD-68BB80AE6FE6\_1\_...



14C44ABD-7E45-4CDE-8A7A-5E8BADDA4AD5\_...



38811948-59B8-4023-BA1E-8B9DF0720790\_1\_1...



1CA97A6D-AC0C-4BEF-9A6C-F9E6CBAA7ACC...

A6EC75A1-F72A-4426-A8F0-BA338BE03C12\_1...



A7551A63-BDC7-43C6-9990-896D4C7676B2\_1\_...

A0A07B17-71E4-43A4-B68C-39E1E449AC91\_1\_...





A17B79FE-9B5D-46C0-81E6-7EB7B019AD5E\_1...



86C1D63B-F388-4B6B-B250-C7981187382E\_1\_...



5103C2A4-FDD6-489B-89C4-380EE799E11E\_1...



67B8E87C-CE5F-4F42-9A40-5373B57259DB\_1\_...





4BF20109-6809-47C5-9310-FC4951F07145\_1\_1...



86DB83D4-E2B6-4A72-A31A-45A8C92BC698\_1...



51020055-D10A-4D0F-93C9-AFD5E55C44\_1...



6AE86DB8-B241-4AE7-9507-38A7394F37A1\_1...





31FAC416-F8EE-4B83-8AC6-B5B206BA02D2\_1...



C051DFFF-F32C-415C-93D2-13D5EDACC6A3\_...



83CEBC1A-3937-447E-953C-D4BEF64814D5\_1...



F93E7A17-B6F8-4BD2-9F6A-0D4E4E1A4A3E\_1...



585D133D-9A05-488F-B41A-249940B5C961\_1\_...



D20D6F52-A904-4755-95FD-FFF12AD2E04E\_1...



E41DB262-A8A8-4E82-902C-8E64303926D1\_1\_...



33EFACED-543E-4179-A508-BE3CDE813435\_1...





42434691-FA5C-49A1-BC20-D95D150BE612\_1\_...



95297B15-31FD-4A82-AFE1-A28743E6FDDE\_1\_...



9CA4C313-EC31-4CC8-922B-6821079BACA4\_1\_...



17B2E9C9-48A8-40ED-9B87-98FA4BF7C37C\_1\_...

GRAPHIC SCALE



(IN FEET)  
1" = 10'



# GREMLEY & BIEDERMANN

A DIVISION OF  
**PLCS Corporation**

License No. 184-005332

PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630

TELEPHONE: (773) 685-5102 FAX: (773) 285-4184 EMAIL: INFO@PLCS-SURVEY.COM

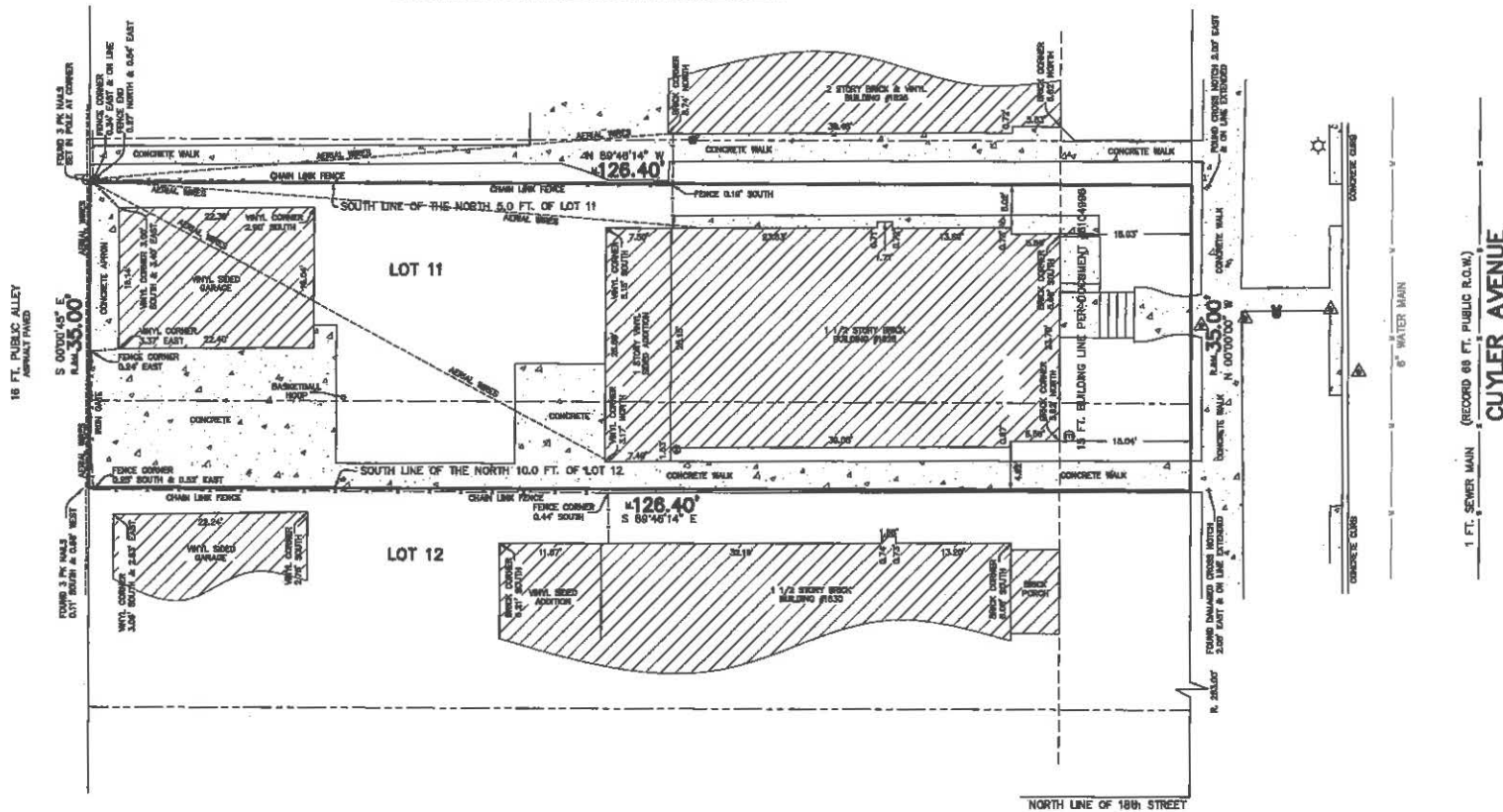
## Plat of Survey

LOT 11 (EXCEPT THE NORTH 5 FEET THEREOF) AND THE NORTH 10 FEET OF LOT 12 IN BLOCK 4 IN WILLIAM A. BOND AND COMPANY'S SECOND DOUGLAS PARK "L" ADDITION, A SUBDIVISION OF LOTS 2 AND 3 OF CIRCUIT COURT PARTITION OF THE WEST HALF OF THE NORTHWEST QUARTER AND THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

CONTAINING 4,424 SQUARE FEET OR 0.10 ACRES MORE OR LESS.

## LEGEND

- Water Buffalo Box
- Utility Pole
- Electric Meter
- Electric Light Pole
- Gas Meter
- Cut Cross
- JULIE Mark - Water



ORDERED BY: A + C ARCHITECTS	CHECKED: RL	DRAWN: JT
ADDRESS: 1620 CUYLER AVENUE		
<b>GREMLEY &amp; BIEDERMANN</b>		
A DIVISION OF <b>PLCS CORPORATION</b>		
License No. 184-005332 Expires 1-30-2017 PROFESSIONAL LAND SURVEYORS		
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630		
TELEPHONE: (773) 685-5102 FAX: (773) 285-4184 EMAIL: INFO@PLCS-SURVEY.COM		
ORDER NO. <b>2017-23520-001</b>	DATE JANUARY 24, 2017	PAGE NO. <b>1 OF 1</b>
SCALE 1" = 10 FEET		

**SURVEY NOTES:**

SURVEYOR'S LICENSE EXPIRES NOVEMBER 30, 2018  
Note R. & M. denotes Record and Measured distances respectively.  
Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.  
For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, city policy and local building line regulations.  
NO dimensions shall be assumed by scale measurement upon this plat.  
Unless otherwise noted hereon the Bearing, Elevation Datum and Coordinate Datum if used is ASSUMED.  
COPYRIGHT GREMLEY & BIEDERMANN, INC. 2017 "All Rights Reserved"

**SURVEY NOTES:**

**UTILITY WARNING**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes NO guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.  
Call DIGGER - (312) 744-7000 within the City of Chicago.  
Outside of the City of Chicago call JULIE, (800) 982-0123 prior to construction or excavation.

State of Illinois  
County of Cook

We, GREMLEY & BIEDERMANN, INC. hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey conducted to a temperature of 62° Fahrenheit.

Field measurements completed on January 24, 2017.

Signed on Jan 31, 2017

By: Robert G. Biedermann

Professional Illinois Land Surveyor No. 2402  
My license expires November 30, 2018

This professional service conforms to the current Illinois minimum standards for a boundary survey.



Robert J. Lovero  
 Mayor  
 Charles D. Lazzara  
 Building Director

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701  
 Telephone: (708) 788-2660 Fax: (708) 788-1427  
 www.berwyn-il.gov

Number of Units	
-----------------	--

Living		Renting		Selling		Flipping	
--------	--	---------	--	---------	--	----------	--

**BUILDING PERMIT APPLICATION**

**JOB SITE ADDRESS** 1628 Cuyler, Berwyn IL

**PROPERTY OWNER** Patsy McEnroe **PHONE** \_\_\_\_\_

**DESCRIPTION OF WORK** Final Permit for 1 unit of SFP, as per plans.

**VALUE OF WORK INCLUDING MATERIALS AND LABOR** \$ 100,000

1. A PLAT OF SURVEY SHALL ACCOMPANY ALL PERMIT APPLICATIONS FOR ALL EXTERIOR WORK.
2. ALL CONTRACTORS PERFORMING WORK AT THE ABOVE ADDRESS MUST BE LICENSED AND BONDED WITH THE CITY OF BERWYN - CONTACT THE COLLECTORS OFFICE TO FIND OUT WHAT IS NEEDED AT (708)788-2660 Ex 6457,6458,6459 or 6460.
3. Contracts on the contractor's letter head including a full scope of work, a value of work and signatures are required from all contractors performing work at the above address. Besides the contract, a letter of intent with a corporate seal or notarized signature will be required from the plumbing contractor ONLY - A letter of intent will not be accepted from any other contractors. All must be provided at time of permit submittal

**CONTRACTOR LIST**

**LIST ALL CONTRACTOR(S) PERFORMING WORK AT THE ABOVE ADDRESS ON THE LINES LISTED BELOW**

	NAME	ADDRESS	PHONE
GENERAL	<u>Northwood Services Inc</u>	<u>700 Northwood</u>	<u>815 317-1000</u>
PLUMBING (interior)	<u>Patrick &amp; Sons Plumbing</u>		
PLUMBING (exterior)			
ELECTRICAL	<u>CJ Electrical</u>		
ELEC SERVICE			
HVAC	<u>Quasitec Inc</u>		
ROOFING	<u>Donald Roofing</u>		



SEWER N/A

FENCE \_\_\_\_\_

DUMPSTER/POD Lakeshore Recycling

**PLEASE LIST ANY ADDITIONAL CONTRACTORS THAT WILL PERFORMING WORK BELOW**

I HEREBY CERTIFY THAT ALL THE INFORMATION PROVIDED HEREIN IS TRUE

**SIGNED**

**DATE** 3/11/20

PERMIT FEE	\$ _____	PLUMBING FINAL	\$ _____	ROOF FINAL	\$ _____
ATF FINE	\$ _____	GAS PRESSURE TEST	\$ _____	HOUSE WRAP	\$ _____
PRELIMINARY ELECTRIC	\$ _____	WATER PRESSURE TEST	\$ _____	SIDING FINAL	\$ _____
PRELIMINARY PLUMBING	\$ _____	HVAC ABOVE CEILING	\$ _____	MASONRY FINAL	\$ _____
PRELIMINARY HVAC	\$ _____	HVAC FINAL	\$ _____	GUTTER/DWNSPT FINAL	\$ _____
PRELIMINARY FRAMING	\$ _____	PERMIT FINAL	\$ _____	DEMO FINAL	\$ _____
FOOTING	\$ _____	POST HOLE/PIER	\$ _____	HEALTH DEPT	\$ _____
FOUNDATION	\$ _____	PRE-POUR	\$ _____	PRELIM FIRE DEPT INSP	\$ _____
BACKFILL	\$ _____	PARKWAY USE	\$ _____	ROUGH FIRE DEPT INSP	\$ _____
SLAB PRE-POUR	\$ _____	STREET OPENING	\$ _____	FINAL FIRE DEPT INSP	\$ _____
PLUMBING UNDERGROUND	\$ _____	SIDEWALK OPENING	\$ _____	LINTEL INSPECTION	\$ _____
PLUMB UNDRGRND - PVC	\$ _____	ALLEY OPENING	\$ _____	RPZ TEST/DDCA VALVE	\$ _____
PLUMB UNDRGRND - HEAD TEST	\$ _____	TAP FEE	\$ _____	DUMPSTER/POD	\$ _____
PLUMB UNDRGRND - BEDDING	\$ _____	WATER METER UPGRADE FEE	\$ _____	CHIMNEY LINER ROUGH	\$ _____
ELECTRICAL UNDERGROUND	\$ _____	PLUMB UNDRGRND - TAP	\$ _____	CHIMNEY LINER FINAL	\$ _____
ELECTRICAL ROUGH	\$ _____	PLUMB UNDRGRND - SERVICE	\$ _____	EXPANSION TANK	\$ _____
PLUMBING ROUGH	\$ _____	PLUMB UNDRGRND - DIVORVE	\$ _____	SERVICE CHARGE	\$ _____
START TEST	\$ _____	RESTORATION INSPECT (ENG)	\$ _____	U & C SEWER VIDEO	N/C
HVAC ROUGH	\$ _____	PARKWAY INSPECTION	\$ _____	PLUMB INSP DCVRT KITCH/BATH	\$ _____
FRAMING ROUGH	\$ _____	CHLOROLOY INSPECTION	\$ _____	HYDRONIC DECONVERSION	\$ _____
INSULATION/FIRE STOPPING	\$ _____	AS-BUILT DRWNG ON PDF	N/C	WTR SRVC UPGRADE WHEN SELLING	N/C
ELECTRICAL ABOVE CEILING	\$ _____	RESTORATION INSPECT (ENG)	\$ _____	SPRINKLER SYSTEM HYDRU - FSC	N/C
ELECTRIC FINAL	\$ _____	RESTORATION INSPECT (ENG)	\$ _____	SPRINKLER SYSTEM FINAL - FSC	N/C
ELECTRICAL SERVICE INSP	\$ _____	KITCHEN HOOD WET CHEM	N/C		\$ _____

SUB TOTAL \$ \_\_\_\_\_

(MINUS REVIEW FEE(S)) \$ \_\_\_\_\_

TOTAL \$ \_\_\_\_\_

Egress  
A/C Location

APPROVED \_\_\_\_\_

(BUILDING DIRECTOR)

**Robert J. Lovero**  
Mayor



**Charles D. Lazzara**  
Building Director

**A Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-1427  
www.berwyn-il.gov

**Date:** June 2, 2020

**Name:** Osiris P. McEnroe  
**Address:** 1628 S. Cuyler  
**City:** Berwyn, IL 60402

**Re:** 1628 S. Cuyler Building a 2<sup>nd</sup> floor addition with only a 6ft setback

**Dear:**

**Your request to: build a 2<sup>nd</sup> floor addition with only a 6ft setback cannot be approved by this office.**

**The reason for such inability is based upon our Zoning Ordinance.**

**Your Property is located in an R-2 Bungalow District and is subject to the following regulations.**

Chapter 1246.11 R-2 Bungalow District Requirement  
Table 1246.11-A R-2 District Requirements

(SEE ATTACHED)

**Robert J. Lovero**  
Mayor



**Charles D. Lazzara**  
Building Director

**Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-1427  
www.berwyn-il.gov

-2-

Because of this regulation, it will be necessary for you to seek a variance from the Berwyn Zoning Board of Appeals.

The law requires you to request an appeal of my decision within 45 days of this denial letter. Your request must be made in writing by sending me an appeal letter asking for a hearing before the Zoning Board of Appeals. Your request must specify the grounds for such action. Please read the **sample appeal letter** below. This is an example you may tailor to your project.

*Dear Mr. Lazzara,*

*I received your denial letter. I would like to appeal your decision and request an opportunity to appear before the Zoning Board.*

*The reason we would like to build a four-car garage is so we can park our cars off the street and to provide a place to store our lawn and gardening equipment.*

*Sincerely,*

*Mr. and Mrs. Smith*

A copy of the appeal letter must also be mailed to:  
Zoning Board of Appeals  
Mr. Lance C. Malina  
Klein, Thrope and Jenkins, Ltd.  
20 N. Wacker Drive, Suite 16603  
Chicago, IL 60606

Please **do not send your appeal letter to Mr. Malina by certified mail**. If you need verification of receipt, please include an extra copy of your appeal letter and he will return it to you properly acknowledged.

Upon receipt of your letter, Mr. Malina will mail you a Petition for Variation Hearing form. The form must be properly executed and seven (7) copies delivered to Mr. Malina within 60 days of the denial letter. You are advised to make a copy of the forms for your records. Proof of fee payment must accompany the forms. The Filing Fee must be paid at Berwyn City Hall. The Publication Fee for the required Legal Notice is paid to the local paper. Instructions for placing the ad are included on the form. Bring the forms to the City Collector's office at City

Hall, pay the proper filing fee, enclose a copy of both fee receipts with the forms and mail them to Mr. Lance Malina

After Mr. Malina receives and reviews the forms, he will mail you a letter informing you of the date of your hearing. A sign may be placed on your property informing the public of the hearing.

The Zoning Board of Appeals meets every third Tuesday of the month at 7:00 p.m. in the second floor conference room at City Hall. At the conclusion of your hearing, the board will vote to either concur with or deny your request. This recommendation is then sent to the City Council. The Council meets every second and fourth Tuesday of the month at 8:00 p.m. in the Council Chambers on the second floor at City Hall. You will receive notification by the City Clerk of the date your case will be before City Council. It is recommended you attend. At this meeting, the Council will vote to concur with or deny the Zoning Board's recommendation. You will receive a letter as to the outcome of this vote from the City Clerk.

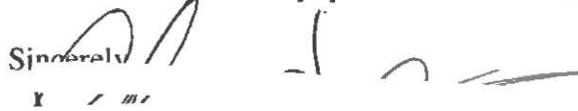
Time is of the essence for this process to be successful. These procedures are required by law and cannot be circumvented. Please respond to all requests as soon as possible. The time limits must be adhered to or you will be required to start the process again from the beginning. The entire process can take up to three months.

**Zoning Filing Fees:**

1. \$300.00 All Residential Properties (except 2, 3 & 4 below)
2. \$75.00 Residential Fences
3. \$75.00 Residential Garages
4. \$75.00 Residential Above Ground Pools
5. \$500.00 All Commercial Properties (except below)
6. \$100.00 Commercial Retail Overlay (RO) Regulated Use

The publication fee is not included in the above fees.

Please call me with any questions at 708-788-2660 x 3210.

Sincerely,  
  
Charles D. Lazzara  
Building Director

Cc: Lance C. Malina, Zoning Board  
Margaret M. Paul, City Clerk  
Alderman Cesar Santoy – 5<sup>th</sup> Ward

§ 1246.11 R-2 Bungalow District Requirements

- A. Bulk and Setback Regulations. Table 1246.11-A. R-2 District Requirements, Figure 1246.11-A. R-2 District Requirements: Plan, and Figure 1246.11-B. R-2 District Requirements: 3-D establish bulk and setback regulations for the R-2 District.
- B. Standards for Additions to Existing Bungalows. The following requirements pertain to second story additions to existing bungalows in the R-2 District.
1. **Minimum Addition Setback.** The bungalow addition shall be set back a minimum of 15 feet from the front façade and shall maintain the existing front dormer, when applicable.
  2. **Maximum Height.** After the 15-foot setback, the maximum height of the bungalow shall be 28 feet.
  3. **Roof Pitch.** The roof pitch of the addition shall be similar to the roof pitch of the bungalow.
  4. **Materials.** The exterior walls of the addition shall be clad with material that has an analogous color to the original bungalow. Shingles and vinyl siding are not permitted cladding materials for the exterior walls of any bungalow addition.

Table 1246.11-A. R-2 District Requirements

Bulk Requirements		
	Minimum Lot Area	3,750 sf
A	Minimum Lot Width	30 ft
B	Maximum Principal Building Height at Front Façade	28 ft for buildings other than bungalows; 20 ft, 15 ft to gutter for bungalows
C	Maximum Height for Second Story Addition to a Bungalow	28 ft
D	Minimum Setback for Second Story Addition to a Bungalow	15 ft
	Maximum Impervious Coverage	65%
Setback Requirements		
E	Minimum Front Setback	15 ft
F	Minimum Corner Side Setback	5 ft
G	Minimum Interior Side Setback	3 ft
H	Minimum Rear Setback	25 ft

Figure 1246.11-A. R-2 District Requirements: Plan

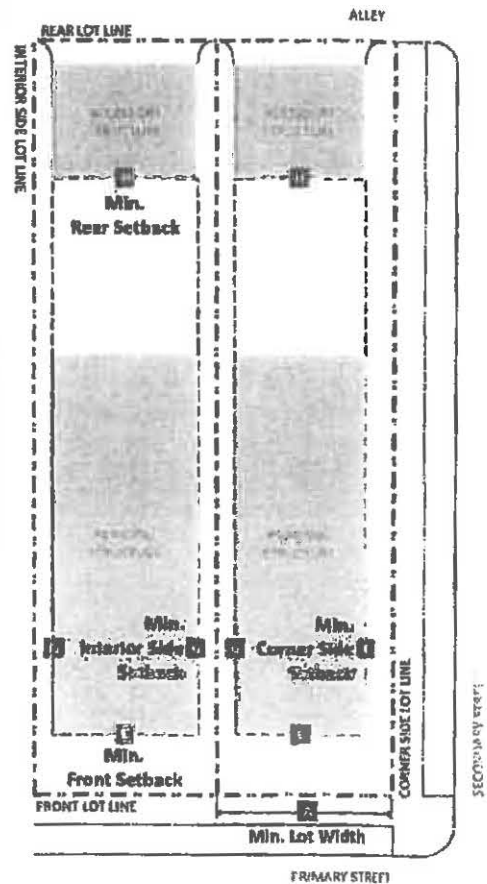
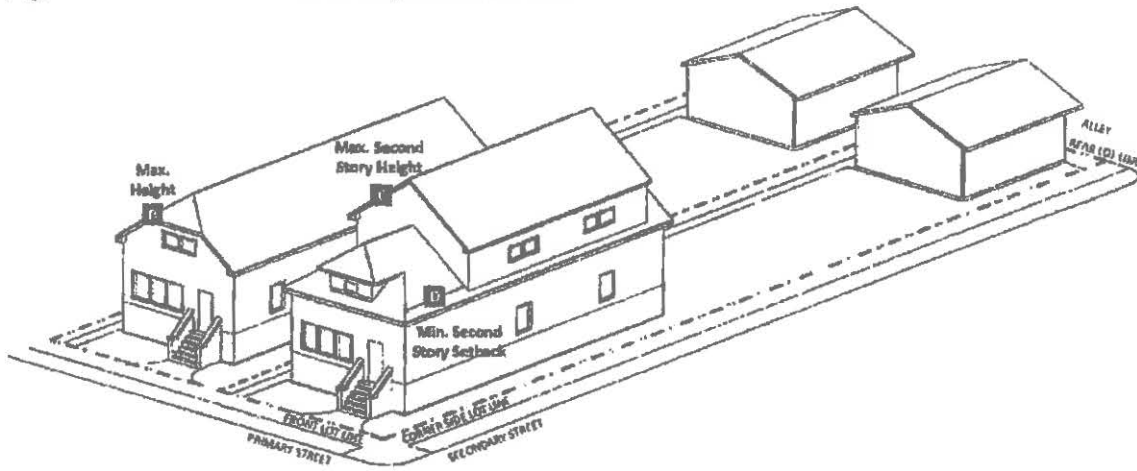




Figure 1246.11-B. R-2 District Requirements: 3-D



Robert J. Lovero  
Mayor  
Charles D. Lazzara  
Building Director

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701  
Telephone: (708) 788-2660 Fax: (708) 788-1427  
www.berwyn-il.gov

Number of Units	
-----------------	--

Living	·	Renting		Selling		Flipping	
--------	---	---------	--	---------	--	----------	--

### **BUILDING PERMIT APPLICATION**

**JOB SITE ADDRESS** \$ 250- 1628 Cuyler Ave, Berwyn IL, 60402

**PROPERTY OWNER** OSIRIS P. McENROE **PHONE** \_\_\_\_\_

**DESCRIPTION OF WORK** Renovation Attic

- ADDING 2ND FL. DORMER  
1 BEDROOM - 1 BATHROOM (Full)  
Equals to Code  
1st floor - removing wall (see plans)

PERMIT NO. \_\_\_\_\_

**VALUE OF WORK INCLUDING MATERIALS AND LABOR** \$ 118,000

1. A PLAT OF SURVEY SHALL ACCOMPANY ALL PERMIT APPLICATIONS FOR ALL EXTERIOR WORK.
2. ALL CONTRACTORS PERFORMING WORK AT THE ABOVE ADDRESS MUST BE LICENSED AND BONDED WITH THE CITY OF BERWYN - CONTACT THE COLLECTORS OFFICE TO FIND OUT WHAT IS NEEDED AT (708)788-2660 Ex 6457,6458,6459 or 6460.
3. Contracts on the contractor's letter head including a full scope of work, a value of work and signatures are required from all contractors performing work at the above address. Besides the contract, a letter of intent with a corporate seal or notarized signature will be required from the plumbing contractor **ONLY** - A letter of intent will not be accepted from any other contractors. All must be provided at time of permit submittal.

### **CONTRACTOR LIST**

**LIST ALL CONTRACTOR(S) PERFORMING WORK AT THE ABOVE ADDRESS ON THE LINES LISTED BELOW**

NAME	ADDRESS	PHONE
GENERAL <u>NORTHWOOD SERVICES LLL</u>	<u>516 N Ogden Ave, Chicago</u>	
PLUMBING (interior)		
PLUMBING (exterior)		
ELECTRICAL		
ELEC SERVICE		
HVAC		
ROOFING		
CONCRETE		
MASONRY		
PAINTING		
EXCAVATOR		

SEWER \_\_\_\_\_

FENCE \_\_\_\_\_

DUMPSTER/POD \_\_\_\_\_

**PLEASE LIST ANY ADDITIONAL CONTRACTORS THAT WILL PERFORMING WORK BELOW**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I HEREBY CERTIFY THAT ALL THE INFORMATION PROVIDED HEREIN IS TRUE

**SIGNED**

*Di*  
*y Wallace*

**DATE**

*3/9/2020*

PERMIT FEE	\$ _____	PLUMBING FINAL	\$ _____	ROOF FINAL	\$ _____
ATF FINE	\$ _____	GAS PRESSURE TEST	\$ _____	HOUSE WRAP	\$ _____
PRELIMINARY ELECTRIC	\$ _____	WATER PRESSURE TEST	\$ _____	SIDING FINAL	\$ _____
PRELIMINARY PLUMBING	\$ _____	HVAC ABOVE CEILING	\$ _____	MASONRY FINAL	\$ _____
PRELIMINARY HVAC	\$ _____	HVAC FINAL	\$ _____	GUTTER/DWNSPT FINAL	\$ _____
PRELIMINARY FRAMING	\$ _____	PERMIT FINAL	\$ _____	DEMO FINAL	\$ _____
FOOTING	\$ _____	POST HOLE/PIER	\$ _____	HEALTH DEPT	\$ _____
FOUNDATION	\$ _____	PRE-POUR	\$ _____	PRELIM FIRE DEPT INSP	\$ _____
BACKFILL	\$ _____	PARKWAY USE	\$ _____	ROUGH FIRE DEPT INSP	\$ _____
SLAB PRE-POUR	\$ _____	STREET OPENING	\$ _____	FINAL FIRE DEPT INSP	\$ _____
PLUMBING UNDERGROUND	\$ _____	SIDEWALK OPENING	\$ _____	LINTEL INSPECTION	\$ _____
PLUMB UNDRGRND - PVC	\$ _____	ALLEY OPENING	\$ _____	RPZ TEST/DDCA VALVE	\$ _____
PLUMB UNDRGRND - HEAD TEST	\$ _____	TAP FEE	\$ _____	DUMPSTER/POD	\$ _____
PLUMB UNDRGRND - BEDDING	\$ _____	WATER METER UPGRADE FEE	\$ _____	CHIMNEY LINER ROUGH	\$ _____
ELECTRICAL UNDERGROUND	\$ _____	PLUMB UNDRGRND - TAP	\$ _____	CHIMNEY LINER FINAL	\$ _____
ELECTRICAL ROUGH	\$ _____	PLUMB UNDRGRND - SERVICE	\$ _____	EXPANSION TANK	\$ _____
PLUMBING ROUGH	\$ _____	PLUMB UNDRGRND - DIVORVE	\$ _____	SERVICE CHARGE	\$ _____
STACK TEST	\$ _____	PRE-POUR STRT/SDWLK (ENG)	\$ _____	NOVOTNY REVIEW FEE	\$ _____
HVAC ROUGH	\$ _____	RESTORATION INSPECT (ENG)	\$ _____	C & C SEWER VIDEO	N/C
FRAMING ROUGH	\$ _____	PARKWAY INSPECTION	\$ _____	PLMB INSP DCVRT KITCH/BATH	\$ _____
INSULATION/FIRE STOPPING	\$ _____	CHLOROLOY INSPECTION	\$ _____	HYDRONIC DECONVERSION	\$ _____
ELECTRICAL ABOVE CEILING	\$ _____		\$ _____	WTR SRVC UPGRADE WHEN SELLING	N/C
ELECTRIC FINAL	\$ _____	AS-BUILT DRWNG ON PDF	N/C		\$ _____
ELECTRICAL SERVICE INSP	\$ _____	KITCHN HOOD MECHANICAL -	N/C	SPRINKLER SYSTEM HYDRO - FSCI	N/C
	\$ _____	FIRE ALARM - FSCI	N/C	SPRINKLER SYSTEM FINAL - FSCI	N/C
	\$ _____	KITCHEN HOOD WET CHEM	N/C		\$ _____

SUB TOTAL \$ \_\_\_\_\_

(MINUS REVIEW FEE(S)) \$ \_\_\_\_\_

TOTAL \$ \_\_\_\_\_

Egress  
 A/C Location

EGRESS - SIGNED

APPROVED \_\_\_\_\_

(BUILDING DIRECTOR)



**A Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 (708) 788-1427  
www.berwyn-il.gov

03/16/20

1628 Cuyler Ave.

**Second Floor Addition/Interior Remodel**

Permit plans submitted by architect Raffi Arzoumanian and received on 03/09/20 are **NOT APPROVED**, please provide response letter and applicable revisions/requested information.

**ZONING:**

1. Bungalow addition shall be setback minimum 15' from front facade (Sec. 1246.11.B-1).
2. Vinyl siding is not permitted cladding material for the exterior walls of any bungalow addition (Sec. 1246.11.B-4).

**BUILDING:**

1. Revise all applicable notes and sections to indicate 2018 IECC on sheet G0.01 and throughout plans (R106, 2012 IRC).
2. Revise zoning data on sheet G0.01 to reflect accurate zoning district: R2 (R106, 2012 IRC).
3. Indicate current license expiration date on cover sheet (R106, 2012 IRC).
4. Remove "City of Chicago & Skokie" references on sheet ME1.01 (R106, 2012 IRC).
5. Per City Amendment: Floor joists and ceiling joists shall not be notched for any electrical installation of materials, equipment or "devices".
6. Per City Amendment: Bathroom requires separate 20-amp circuit to supply outlets.
7. Clarify electric service/panel size being connected to and notate panel location, if service or panel upgrade is required provide panel schedule and one-line diagram with grounding detail (2011 NEC).
8. Indicate proposed interior conduit and wire sizes/materials (Article 300, 2011 NEC).
9. Existing bedroom and basement (if finished currently) require code compliant egress windows (R310, 2012 IRC).
10. Provide interior wall detail (R602, 2012 IRC).
11. Provide wall infill detail for office (R602, 2012 IRC).
12. Clarify LVL support methods at each end (R602.7, 2012 IRC).
13. Indicate general fire stop notes (R302.12, 2012 IRC).
14. Exterior walls less than 5' from lot line must be fire rated per Table R302. 1 (1), 2012 IRC.
15. Walls in shower area must have cement board or equivalent if tile will be installed (Sec. 702.3.8, 2012 IRC).
16. Provide note that duct work must comply with SMACNA specifications (Sec. 603, 2012 IMC).
17. Indicate applicable supply and return locations in remodeled areas, bathroom requires heat source (Sec. 607, 2012 IMC).
18. Plans notate ceiling mounted units for AC-1 and 2, provide manufacture specifications to determine if units will be permitted (Sec. 303, 2012 IMC).

3/18/20 - Lm for OSIRIS that plans are not approved.

3/18/20 emailed to patsy@patsymcneup.com

Approved by Patsy McNeup 03/18/20

**Plan Review Fee**

Address: 1628 Cuyler Ave.

Scope: Second Floor Addition/Interior Remodel

Date of Initial Review: 03/16/20

Building & Zoning Review: \$300.00



# City of Berwyn Zoning Analysis

## Overview

The proposed project, addressed at 1628 Cuyler Avenue, is zoned as R-2 Bungalow District, a district established to accommodate residential development and improvements in a manner congruent with the character of existing bungalow housing stock in the city. Single family dwellings and limited civic and institutional uses are allowed. The applicant, Patsy McEnroe, is proposing a variation on the 2<sup>nd</sup> floor addition front wall setback requirement from 15ft to 12.5ft. The project entails constructing second floor addition to an existing single-family bungalow home.

<b>Bulk Requirements</b>	<b>Proposed</b>	<b>Requirement</b>
<b>Minimum Lot Area</b>	4,424 SF	3,700 SF
<b>Minimum Lot Width</b>	35 ft	30 ft
<b>Maximum Principal Building Height at Front Façade</b>	20 ft	28 ft for buildings other than bungalows; 20 ft, 15 ft to the gutter for bungalows
<b>Maximum Height for Second Story Addition to a Bungalow</b>	23 ft	28 ft
<b>Minimum Setback for Second Story Addition to a Bungalow</b>	12.5 ft	15 ft
<b>Maximum Impervious Coverage</b>	65%	65%
<b>Minimum Front Setback</b>	12.5 ft	15 ft
<b>Maximum Corner Side Setback</b>	5 ft	5 ft
<b>Minimum Interior Side Setback</b>	4.92 ft	3 ft
<b>Minimum Rear Setback</b>	52.29 ft	25 ft

## Setback Requirement

The proposed project has a setback of 12.5 ft for the second story addition. The project would maintain the existing Dormer and Front Wall. The maximum height of the proposed second story addition would be 23 ft.

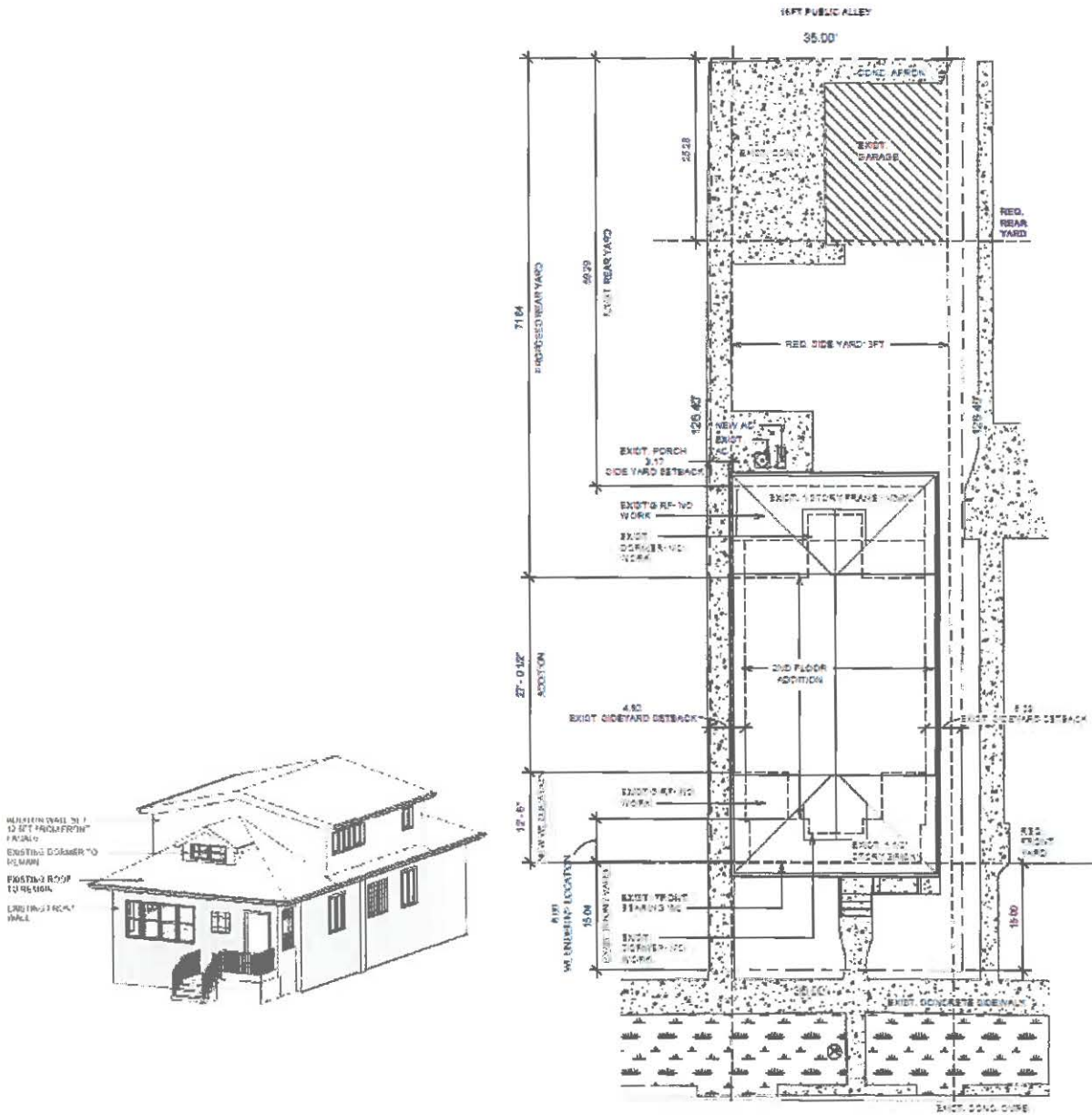


Figure 1: Amended site plan with 12.5 ft setback.

**Variation: Setback Requirement**

The proposal strays from the historic context of the existing structure. Great effort and time was spent in developing the current Zoning Code and requirements for the R-2 Bungalow District. The community places a value on these Bungalows by codifying the maintenance of both historic buildings and neighborhood character. We recognize that some variations such as the proposed were approved prior to the adoption of the current Zoning Code. Variations in the City of Berwyn’s current Zoning Code are defined as granting relief from regulations to the extent that literal enforcement of such regulations creates particular hardships or practical difficulties in developing property due to the unique attributes of the property. This hardship must be unique, not created by the applicant, and not shared by adjacent properties and other properties within the immediate vicinity of the proposed variation. A variation is not

intended to provide relief from the bulk regulations as they are defined in the Zoning Code. Based on this standard, the petitioner has not shown any undue hardship in their variation request. The petitioner has not spoken as to why they cannot move the addition structure back 2.5 ft and meet the 15 ft setback requirement. As such, it is the recommendation to deny the petitioner's request for variation.

Since proposal does not satisfy the Setback requirement, the application requires a variation to proceed with modifications. The City of Berwyn may consider developing pre-approved bungalow additions that do not require variations and would streamline property renovations for residents in the R-2 Bungalow District. The Berwyn Development Corporation would be willing to engage in this process at the direction of City Council.

**The City of Berwyn**



**Jose Ramirez  
2<sup>nd</sup> Ward Alderman**

**A Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-2675  
www.berwyn-il.gov

November 6, 2020

I-1

**Re: Residential Water Bill Duplication**

**Mayor Robert J. Lovero and  
Members of the Berwyn City Council**

I recently heard from 2<sup>nd</sup> Ward residents who were concerned because they were mailed 2 separate water bills which were duplicates. They were requesting reassurance that they were not being billed twice. I am requesting we discuss how this happened and if there is any room for improvement.

Issues for discussion;

1. What is the process for creating and mailing out residential water bills?
2. How did this happen?
3. What is the scope of the issue
  - A. How many bills were mailed out?
  - B. What was the cost to the city?
4. What processes if any are being implemented to avoid this from happening again?

It is understood that mistakes happen, the goal here is to understand how this happened and if there is any room for improving the process.

Very truly yours,

2<sup>nd</sup> Ward Alderman Jose Ramirez



**A Century of Progress with Pride**

*I-2*

Budget and Finance Committee Minutes

October 15, 2020 Meeting,

Public Works 2021 Budget

Meeting called to order at 5:04pm

In attendance:

Cesar Santoy, Alderman & Committee Chair; Scott Lennon, Alderman; Anthony Nowak, Alderman; Ruth Siaba Green, City Administrator; Benjamin Daish, Finance Director; Robert Schiller, Director of Public Works

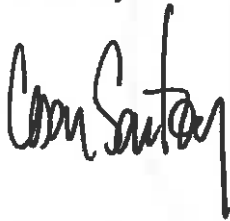
Public Comment: none

- Chair Santoy opened the meeting by presenting agenda item 1: the presentation of 2021 draft budget for Public Works department.
- Mr. Daish explained that the reports presented to the committee include historic data, 2020 revenue and expenditures recorded through mid-September, 2021 draft budget and projections through 2024.
- Mr. Schiller noted that the reports presented include several funds, The General Fund, which includes Streets & Fleet, the Utilities Fund for garbage collection, water operations and billing.
- Mr. Daish noted contractual salary increases and other expenses in Streets & Fleet divisions. Mr. Schiller added that this contract expires Dec. 31, 2023.
- Mr. Daish noted that insurance expenses are estimated to increase about 5% in 2021 but that percentage is subject to change based on rate changes imposed by health and dental insurers sometime in the first quarter of 2021.
- Mr. Schiller provided commentary on expense line items and the creation of a sub-account specifically for capital outlay reserves specifically for vehicle purchases at a later date. Ald Lennon suggested this type of sub-account be implemented across all departments. A brief discussion followed regarding the logistics of implementation.
- Ald. Santoy inquired about the percent difference between the proposed budget and the previous adopted budget, overtime, engineering expenses and equipment leases and overall responsiveness to the pandemic related budget deficient. Mr. Schiller and Mr. Daish remarked on the multiple reductions that have been made within the Public Works department. Mr. Schiller also noted the repercussions of reductions in professional services such as downed branches and roadway deterioration.



- Ald. Lennon inquired about road resurfacing, Mr. Schiller and Ms. Siaba Green discussed the need for additional funding.
- Mr. Schiller went on to discuss the Utilities Fund and the need for infrastructure improvements around water mains and fire hydrants. He noted that the Utilities Fund is solely funded garbage and water billing. There was discussion regarding the Flood Mitigation program available to residents for owner occupied dwellings of 3 units or less. Mr. Schiller went on to explain the process to apply.
- Ald. Santoy reiterated the importance of fiscal responsibility.
- New Business: none
- Ald. Santoy motioned to adjourn, seconded by Ald. Lennon. All in favor. Meeting adjourned at 6:05.

Sincerely

A handwritten signature in black ink that reads "Cesar Santoy". The signature is written in a cursive, slightly slanted style.

Cesar A Santoy  
5<sup>th</sup> Ward Alderman



**City of Berwyn Police and Fire Commission**  
 6401 WEST 31ST ST  
 BERWYN, IL. 60402  
[www.berwyn-il.gov](http://www.berwyn-il.gov)



Mayor Robert J. Lovero  
 Alderman Ralph Avila Chairman of Police and Fire Committee  
 Police Chief Michael Cimaglia  
 City Clerk Margaret M. Paul  
 City Treasurer Cynthia Gutierrez  
 Members of the City Council

I - 3

Date: 11/4/2020

RE: Probationary Police Officer Zachary Erdman

The members of the Berwyn Police and Fire Commission have completed their final review and certify that the applicant has met all the requirements of probationary police officer for City of Berwyn Police Department.

The members of the Commission hereby recommend that Zachary Erdman be approved by the Mayor and the City Council at the request of Police Chief Michael Cimaglia.

The introduction and the administration of the oath of office will be conducted at the 11/10/2020 Berwyn Council meeting and the effective start date of 11/11/2020.

**Board of Police and Fire Commissioners**

*Carl J. Reina*

Carl Reina, Chairman

*Gilbert Pena*

Gilbert Pena, Commissioner

*Ana M. Espinoza*

Ana Espinoza, Commissioner

*Ken Waszak*

Ken Waszak, Commissioner

*Alice Solis*

Alice Solis, Commissioner

*Tony J. Laureto*

Tony J. Laureto, Secretary



**City of Berwyn Police and Fire Commission**

6401 WEST 31ST ST  
BERWYN, IL. 60402

[www.berwyn-il.gov](http://www.berwyn-il.gov)



Mayor Robert J. Lovero  
Alderman Ralph Avila Chairman of Police and Fire Committee  
Police Chief Michael Cimaglia  
City Clerk Margaret M. Paul  
City Treasurer Cynthia Gutierrez  
Members of the City Council

I-4

Date: 11/4/2020

RE: Probationary Police Officer Erica Mendoza

The members of the Berwyn Police and Fire Commission have completed their final review and certify that the applicant has met all the requirements of probationary police officer for City of Berwyn Police Department.

The members of the Commission hereby recommend that Erica Mendoza be approved by the Mayor and the City Council at the request of Police Chief Michael Cimaglia.

The introduction and the administration of the oath of office will be conducted at the 11/10/2020 Berwyn Council meeting and the effective start date of 11/11/2020.

**Board of Police and Fire Commissioners**

*Carl J. Reina*

Carl Reina, Chairman

*Gilbert Pena*

Gilbert Pena, Commissioner

*Ana M. Espinoza*

Ana Espinoza, Commissioner

*Ken Waszak*

Ken Waszak, Commissioner

*Alice Solis*

Alice Solis, Commissioner

*Tony J. Laureto*

Tony J. Laureto, Secretary



**City of Berwyn Police and Fire Commission**

6401 WEST 31ST ST

BERWYN, IL. 60402

[www.berwyn-il.gov](http://www.berwyn-il.gov)



Mayor Robert J. Lovero  
Alderman Ralph Avila Chairman of Police and Fire Committee  
Police Chief Michael Cimaglia  
City Clerk Margaret M. Paul  
City Treasurer Cynthia Gutierrez  
Members of the City Council

*I-5*

Date: 11/4/2020

RE: Probationary Police Officer Dominic Savino

The members of the Berwyn Police and Fire Commission have completed their final review and certify that the applicant has met all the requirements of probationary police officer for City of Berwyn Police Department. The members of the Commission hereby recommend that Dominic Savino be approved by the Mayor and the City Council at the request of Police Chief Michael Cimaglia.

The introduction and the administration of the oath of office will be conducted at the 11/10/2020 Berwyn Council meeting and the effective start date of 11/11/2020.

**Board of Police and Fire Commissioners**

*Carl J. Reina*

Carl Reina, Chairman

*Gilbert Pena*

Gilbert Pena, Commissioner

*Ana M. Espinoza*

Ana Espinoza, Commissioner

*Ken Waszak*

Ken Waszak, Commissioner

*Alice Solis*

Alice Solis, Commissioner

*Tony J. Laureto*

Tony J. Laureto, Secretary



**City of Berwyn Police and Fire Commission**

6401 WEST 31ST ST  
BERWYN, IL. 60402

[www.berwyn-il.gov](http://www.berwyn-il.gov)



Mayor Robert J. Lovero  
Alderman Ralph Avila Chairman of Police and Fire Committee  
Police Chief Michael Cimaglia  
City Clerk Margaret M. Paul  
City Treasurer Cynthia Gutierrez  
Members of the City Council

I-6

Date: 11/5/2020

RE: Probationary Police Officer Elias Galvan

The members of the Berwyn Police and Fire Commission have completed their final review and certify that the applicant has met all the requirements of probationary police officer for City of Berwyn Police Department.

The members of the Commission hereby recommend that Elias Galvan be approved by the Mayor and the City Council at the request of Police Chief Michael Cimaglia.

The introduction and the administration of the oath of office will be conducted at the 11/10/2020 Berwyn Council meeting and the effective start date of 11/11/2020.

**Board of Police and Fire Commissioners**

*Carl J. Reina*

Carl Reina, Chairman

*Gilbert Pena*

Gilbert Pena, Commissioner

*Ana M. Espinoza*

Ana Espinoza, Commissioner

*Ken Waszak*

Ken Waszak, Commissioner

*Alice Solis*

Alice Solis, Commissioner

*Tony J. Laureto*

Tony J. Laureto, Secretary





J-1

**A Century of Progress with Pride**

Date: November 5, 2020  
To: Mayor Robert J. Lovero  
Members of the Berwyn City Council  
Subject: BMO Line of Credit Extension/Request Draw Approval for Bond Refunding

The City has received a longer term extension on the line of credit it has with BMO Harris Bank. The accompanying term sheet summarizes the elements of the facility. The elements involved the following:

- \$10 million Revolving Line of Credit
- Draw period extended from 12/1/2020 to 1/20/2022
- Repayment of any draw extended to 12/31/2024
- Applicable interest rate: Libor + current rate of 1.8% the higher of the following
- Unutilized Fee: .45% ; Annual \$45,000

Originally, this line was used to address the bullet pension bond payments of \$15 million due in 2018 and 2023. In fact, the facility was drawn to fund these payments in December, 2018 until the City issued long term securitization bonds in March, 2019.

Going forward, the facility could be used to address any cash shortfalls and other short term cash needs of the City over the next two years subject to the ability to extend the line in the future. This is particularly critical with the financial uncertainty associated with the current COVID pandemic. These funds along with existing fund balances should allow the City to maintain critical City services without interruption. The line of credit also provides a strong financial resource that will allow the City to pursue any future bonding initiatives. As such, the line of credit should not be perceived as a long term financing solution, but an effective liquidity tool to deal with short term needs so the City can maintain essential services while pursuing cost effective long term financing objectives.

The City is also seeking approval to use a portion of the line to fund the mandatory principal payment of the Series 2010 Bonds due 12/1/2020. This mandatory payment due came as a result of the bond covenant stipulating that if the City's fund balance is in excess of \$2 million then a \$3,850,000 payment is accelerated from the 2030 initial maturity date. The City also faces a similar requirement next year, 12/1/2021 for the 2011 Bond issue where \$3 million will be accelerated from an initial 2031 maturity. Drawing on the line of credit provides the city the vehicle to seek the most optimal terms in the bond market to refinance both bond issues without having to reduce the City's reserves.

The interest rate for the draw on the bond redemptions would be 2.55%. The City would repay the amount drawn after obtaining favorable refunding terms for the 2010 and 2011 Bond Series callable amounts. In short, combining the two bond refunding issuances would be more cost effective for the City.

Recommendation: Staff recommends that the City Council approve the attached ordinance and allow the City to draw \$3,850,000 from the BMO Harris Line of Credit for the purpose of paying the principal due 12/1/2020 on the Series 2010 Bonds.

Respectfully submitted,

Benjamin J. Daish  
Finance Director

**ORDINANCE NUMBER 20-\_\_\_\_\_**

**AN ORDINANCE AUTHORIZING AND PROVIDING  
FOR A \$3,850,000 REVOLVING LINE OF CREDIT LOAN  
FROM BMO HARRIS BANK N.A. TO THE CITY OF  
BERWYN, COOK COUNTY, ILLINOIS.**

**WHEREAS**, the City of Berwyn, Cook County, Illinois (the “City”), is a municipality and a home rule unit of local government of the State of Illinois operating under and pursuant to Article VII of the Constitution of the State of Illinois (the “Constitution”) and the Illinois Municipal Code, 65 ILCS 5/1-1-1, *et seq.* (the “Code”), as supplemented and amended (collectively, the “Applicable Law”); and

**WHEREAS**, the City, through its Mayor and City Council (alternatively, Aldermen) (the Aldermen, together with the Mayor, the “Corporate Authorities”), have considered the needs of the City and, in doing so, the Corporate Authorities have deemed and do now deem it advisable, necessary and for the best interest of the City in order to promote and protect the public health, welfare, safety and convenience of the residents of the City to make provision for the payment of ordinary and necessary expenditures of the City as the same are due in anticipation of receipts from taxes and other general revenues; and

**WHEREAS**, the City and BMO Harris Bank N.A. (the “Bank”) previously entered into a certain Revolving Credit Agreement (the “Credit Agreement”) on or about June 1, 2017, which Agreement has been subsequently amended; and

**WHEREAS**, the City desires to obtain a revolving line of credit loan (the “Loan”) from the Bank for such working capital purposes; and

**WHEREAS**, it is necessary to borrow money for such purpose in an amount not to exceed at any one time the sum of \$3,850,000 pursuant to a revolving line of credit arrangement which will permit, for a certain term to maturity, draws and repayments, from time to time, as funds are needed for corporate purposes or as funds are available for repayment; and

**WHEREAS**, pursuant to the provisions of Sections 6(d) and 6(k) of Article VII of the Constitution, a home rule unit may incur debt payable from ad valorem property tax receipts maturing not more than 40 years from the time it is incurred and without referendum approval thereof; and

**WHEREAS**, the Corporate Authorities have determined that it is advisable, necessary and in the best interests of the City to take all actions required to secure the Loan of \$3,850,000 pursuant to the Credit Agreement and any amendments thereof;

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the City of Berwyn, Cook County, Illinois, in the exercise of its home rule powers, as follows:

**Section 1. Recitals.** The foregoing recitals are true, correct and material to this Ordinance and shall be incorporated herein as if they were fully set forth in this Section.

**Section 2. Definitions.** The following words and terms are defined as set forth:

*“Applicable Law”* is defined in the Preambles of this Ordinance.

*“Bank”* is defined in the Preambles of this Ordinance.

*“City”* is defined in the Preambles of this Ordinance.

*“Code”* is defined in the Preambles of this Ordinance.

*“Corporate Authorities”* is defined in the Preambles of this Ordinance.

*“Credit Agreement”* means that certain Revolving Credit Agreement to be entered into by the City and the Bank.

*“Loan”* is defined in the Preambles of this Ordinance.

*“Obligations”* means all obligations to repay advances to, and all debts, liabilities, obligations, covenants and duties of, the City under the Credit Agreement and any amendments thereof.

*“Ordinance”* means this Ordinance No. 20-\_\_\_\_\_, numbered as set forth on the title page hereof, and passed by the Corporate Authorities on \_\_\_\_\_.

Words and terms used in this Ordinance shall have the meanings given to them unless the context or use clearly indicates another or different meaning is intended. Words and terms defined in the singular may be used in the plural and vice-versa. Reference to any gender shall be deemed to include the other and also inanimate persons such as corporations, where applicable.

**Section 3.** In order to provide sufficient funds for working capital purposes and such other purposes as shall be set forth herein, the Corporate Authorities approve and authorize the Loan from the Bank, which Loan shall contain such terms and conditions as set forth in the Credit Agreement and any amendments thereof, attached hereto as **Group Exhibit A** and made a part hereof.

**Section 4. General Obligations.** The Obligations shall be general obligations of the City, for which the full faith and credit of the City are hereby irrevocably pledged, and are payable from all sources legally available to the City to make such repayment, including, in the discretion of the Corporate Authorities, from the levy of taxes on all of the taxable property in the City,

without limit as to rate or amount. For the prompt payment of the Obligations, both principal and interest, at maturity, the full faith, credit and resources of the City are hereby irrevocably pledged. The City represents and warrants that the total amount due to be outstanding at any time, together with all other indebtedness of the City, is and shall be within all statutory and constitutional debt limitations. The City agrees to appropriate funds of the City annually and in a timely manner so as to provide for the making of all payments when due pursuant to the Credit Agreement and any amendments thereof. If any portion of the Loan is outstanding on the 15<sup>th</sup> day of February immediately preceding the termination date of the Credit Agreement, the City will take all necessary action to adopt and put in place in a timely manner a levy on all taxable property in the City in an amount sufficient to pay all Obligations when due. This Ordinance constitutes an ongoing appropriation from legally available funds for payment of the Obligations payable pursuant to the Credit Agreement and any amendments thereof.

**Section 6. Use of Loan Proceeds.** The proceeds of the Loan shall be used by the City from time to time for such working capital purposes as shall hereafter be determined by the Corporate Authorities. Such working capital purposes may include, without limitation, the repayment of the City's Series 2010A bonds on December 1, 2020, the use of not more than \$3,850,000 of Loan proceeds to fund payments due on December 1, 2020 with respect to certain existing indebtedness of the City in order to accommodate the restructuring of such indebtedness, and for such other purposes as shall be determined from time to time by the Corporate Authorities prior to the termination of the Loan.

**Section 7. Approval and Execution of Other Required Instruments.** The Mayor and the City Clerk are hereby authorized and directed to execute such other instruments, documents, certificates or agreements reasonably required by the Bank in order to effectuate the consummation of the Loan in accordance with the Credit Agreement and any amendments thereof, and such other documents required to be executed in connection with the Loan, the approval of such documents to be subject to the review and approval of counsel to the City, such approval to be evidenced by the execution of any such other instruments, certificates or agreements by the Mayor and the City Clerk.

**Section 8. Provisions in a Contract.** The provisions of this Ordinance shall constitute a contract between the City and the Bank; and no changes, additions, or alterations of any kind shall be made hereto, except as herein provided, so long as there is an Outstanding Principal Amount or interest due on the Loan.

**Section 9. Severability.** If any section, paragraph or provision of this Ordinance shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such section, paragraph or provision shall not affect any of the remaining provisions of this Ordinance.

**Section 10. Repealer and Effective Date.** All resolutions, ordinances, orders or parts thereof in conflict herewith be and the same are hereby repealed, and this Ordinance shall be in full force and effect forthwith upon its passage.

This Ordinance was passed and deposited in the office of the City Clerk of the City of Berwyn this \_\_\_\_ day of November, 2020.

---

Margaret Paul, City Clerk

Approved by me this \_\_\_\_  
day of November, 2020.

---

ROBERT J. LOVERO, Mayor



GROUP EXHIBIT A



**Summary of Key Terms and Conditions**

**Borrower:** City of Berwyn, Illinois (the "City")

**Bank:** BMO Harris Bank N.A.

**Facility:** \$10,000,000 Revolving Line of Credit  
\$0 Draws/Loans currently outstanding

**Purpose:** Working capital purposes

**Termination Date / Availability Period:** 1/20/2022

**Extension of Termination Date:** At least 120 days and no more than 6 months prior to the Termination Date, the Borrower may request the Bank to extend the Termination Date. Bank will notify the Borrower of its initial consent or nonconsent of such extension no more than 30 days from receipt of such notice. Failure of the Bank to respond constitutes a denial.

**Pricing:** LIBOR\* + Applicable Rate (currently 1.80%)  
\*Floor of 0.75%; add standard LIBOR fallback language

Level	Fitch	S&P	Moody's	Applicable Rate
1	A or above	A or above	A2 or above	1.50%
2	A-	A-	A3	1.60%
3	BBB+	BBB+	Baa1	1.70%
4	BBB	BBB	Baa2	1.80%
5	BBB-	BBB-	Baa3	2.20%

In the event of a split rating, the lowest rating shall apply.

**Fees:** Unutilized fee of 0.45% per annum payable quarterly in arrears (on the first business day of each February, May, August and November) based on the average daily unused amount of the Revolver.

All interest, fees and other obligations due are automatically debited from an account held at the Bank.

**Security:** Unlimited General Obligation pledge of the City

**Reporting Requirements:**

- Annual FYE audited financial statements of the borrower within 240 days of FYE
- A copy of the Borrower's operating budget for the following fiscal year no later than 90 days after the end of each fiscal year.

**Financial Covenants:**

- Maintain underlying stand-alone long term ratings of BBB-/Baa3/BBB- from S&P/Moody's/Fitch at all times (currently rated by S&P only)
- Most Favored Nations

<b>Term Out:</b>	At least 30 days prior to the Maturity, the Borrower may make a written request to the Bank to convert any outstanding amounts to a Term Loan on the Maturity Date. So long as no Event of Default has occurred and is continuing and all Representations and Warranties are true and correct on the Maturity Date, the Borrower may utilize a Term Out as specified below to repay any principal amounts outstanding on the Facility. Interest will be due monthly at the Term Out Rate. Notwithstanding the foregoing, the Facility shall be subject to acceleration upon the occurrence of an Event of Default.
<b>Term Out Period:</b>	<p>3-year term-out: Equal quarterly principal payments</p> <ul style="list-style-type: none"> <li>• Initial Term Loan Payment Date: 3/31/22</li> <li>• Term Loan Maturity Date: earliest to occur of (i) 12/31/24, (ii) date Agreement is terminated by the Borrower and Lender prior to the Term Loan Maturity, and (iii) date the Term Loan becomes due in accordance with Section 7.02 (Remedies following an Event of Default)</li> </ul>
<b>Term Out Rate:</b>	Base Rate + 1.00%
<b>Budget &amp; Appropriation:</b>	Borrower shall take all ministerial actions necessary to facilitate the payment of all obligations due hereunder in the annual budget of the Borrower (including any necessary appropriations related thereto).
<b>Covenant to Levy:</b>	<p>Borrower agrees that in the event it determines that it is unable to pay obligations due hereunder when due, or Bank directs the Borrower to do so, the Borrower will take all necessary actions to adopt or put in place a levy on all taxable property in the City in an amount sufficient to pay all obligations owing hereunder when due no later than (i) February 15, 2022, with respect to all amounts owing on the Loan or all principal payments owed on a Term Loan on the Initial Term Loan Payment Date and thereafter, and (ii) if no levy was filed pursuant to clause (i) above, by February 15, 2023, with respect to all principal payments owing on the Loan and the Term Loan that have not previously been paid, and with respect to the Term Loan, that are due on the Term Loan Payment Dates commencing 3/31/23 through and including the Term Loan Maturity Date.</p> <p>If the Borrower's external rating is downgraded below BBB/Baa2/BBB, the Borrower will adopt or put in place a levy on all taxable property in the City in the amount of the Facility/Commitment Amount as soon as possible, regardless of Outstanding Amount. Subsequent Loan requests will not be funded until such levy is in place.</p>
<b>Default Rate:</b>	Base Rate + 4.00%
<b>Base Rate:</b>	Highest of (i) Prime Rate, (ii) Fed Funds plus 2%, (iii) 1-month LIBOR plus 3% or (iv) 7%
<b>Business Relationship:</b>	Borrower shall, within 180 days subsequent to the closing date and during the remaining term of the Facility provided for pursuant to this Agreement, maintain treasury services related to Borrower's collection and/or disbursement accounts at BMO Harris or its affiliates.
<b>Events of Default:</b>	As currently stated in the Revolving Credit Agreement dated June 1, 2017 between the Borrower and Bank, as amended.
<b>Other Terms/Conditions:</b>	As currently stated in the Revolving Credit Agreement dated June 1, 2017 between the Borrower and Bank, as amended.



J-2

**A Century of Progress with Pride**

Date: November 5, 2020  
 To: Mayor Robert J. Lovero  
 Members of the Berwyn City Council  
 Subject: Determination for the Estimated 2020 Property Tax Levy (to be collected in 2021)

The City is required to determine an estimated tax levy amount for the 2020 property tax year, pursuant to section 18-60 of the Truth in Taxation Law.

On Tuesday, November 10, 2020, the Finance Department will present at the Committee of the Whole (COW) meeting, further explanation to the components and options summarized below for City Council to consider when determining the appropriate estimated tax levy.

Purpose	2019 Levy	Base Option A: No Change	Base Option B: Increase in Pension Normal Cost	Base Option C: Bond Covenant	Base Option D: CPI
Total Aggregate Levy	33,340,695	33,340,695	33,589,410	34,089,410	34,481,004
\$ Increase From Prior Year	n/a	-	248,715	748,715	1,140,309
% Increase From Prior Year	n/a	0.0%	0.7%	2.2%	3.4%
Annual City of Berwyn Increase to Average Household (\$180.5 K Home Value)	n/a	\$ -	\$ 15	\$ 46	\$ 70

Base Option A; No Change in Levy compared to 2019. General Fund would absorb the loss for the \$249,000 increase in Police and Fire pension normal cost.

Base Option B covers the \$249,000 increase in Police and Fire pension normal cost

Base Option C covers the \$249,000 increase in Police and Fire pension normal cost and the bond covenant required \$500,000 increase.

Base Option D covers the \$249,000 increase in Police and Fire pension normal cost, the bond covenant required \$500,000 increase, and the current 2.3% inflation rate (CPI) to offset unanticipated higher expenditures.

*Note: Pros and Cons of each of the options to be presented at the 11/10/2020 Committee of the Whole (COW) Session*

Also, the options above have been discussed further during the Budget and Finance Committee Meeting on Thursday, November 5<sup>th</sup>.

Recommendation: On Tuesday, November 10, 2020, a straw poll vote should be taken at the Committee of the Whole Meeting of which option should be selected. The option selected should be communicated at the 8pm November 10<sup>th</sup> City Council meeting then drafted into an ordinance and presented for passage at the December 8, 2020 City Council Meeting. This would fulfill the 20 day statute requirement between the time of determination and the actual ordinance vote.

Respectfully submitted,

  
 Benjamin J. Daish  
 Finance Director

The City of Berwyn



Robert P. Schiller  
Director of Public Works

J-3

A Century of Progress with Pride

November 10, 2020

To: Mayor Robert J. Lovero  
Members of the Berwyn City Council

Re: 2021 Motor Fuel Tax Salt contract.

Every year in order to participate in the state road salt bid, each municipality must submit their request by mid-March of that year for award in September/October. Once each municipality is given a contract from a supplier and cost per ton, each contract is for a two year duration unless the municipality opts out. We are obligated to accept at least 80% of the requested quantity each year and a maximum of 120% so I spend a great deal of time and effort looking at weather trends and salt usage during the current season in order to forecast the quantity needed for the following year. Earlier this year after looking at everything, including our budget, I made the decision to opt out of our 2019 salt contract and requested that our 2020 IDOT CMS Salt contract be re-bid. Because of this, I reduced our unit cost from \$77.33 per ton in 2019 to \$46.10 per ton in 2020. This will result in a savings in our MFT funds of over \$118,000. This saving will result in Berwyn's ability to perform more roadway patching and resurfacing in 2021 from our MFT account.

**Recommendation:** Consider as informational.

Respectfully,

Robert Schiller  
Director of Public Works



The City of Berwyn



Robert P. Schiller  
Director of Public Works

J-4

A Century of Progress with Pride

November 10, 2020

To: Mayor Robert J. Lovero  
Members of the Berwyn City Council

Re: Request approval of the 2021 Motor Fuel Tax maintenance resolution

Staff has prepared and reviewed our 2021 MFT maintenance program with Tom Brandstedt from Novotny Engineering. This year's maintenance includes continued street light luminaire replacement, street light and traffic signal maintenance and repairs, road salt, street light energy, thermoplastic pavement marking replacement in certain areas of the city and roadway patching and resurfacing.. This resolution must be completed and approved prior to releasing a Request for Proposal for Street Light and Traffic Signal maintenance. A copy of the resolution is included with this cover sheet.

**Recommendation:** I recommend approval of the 2021 Motor Fuel Tax maintenance resolution as prepared by Novotny Engineering, consulting City Engineer for the City of Berwyn and City staff.

Respectfully,

Robert Schiller  
Director of Public Works



CIVIL ENGINEERS  
MUNICIPAL CONSULTANTS  
SINCE 1948

November 4, 2020

Mr. Robert Schiller  
Director of Public Works  
City of Berwyn  
1 Public Works Drive  
Berwyn, IL 60402

Re: **2021 MFT Maintenance**  
**MFT Section No. 21-00000-00-GM**

Dear Bob:

In accordance with our discussion, we have prepared the necessary documents to enable the City to pay for various Public Works activities using Motor Fuel Tax funds and Rebuild Illinois Bond Funds. The entire program has been set up to provide \$2,600,000.00 for maintenance usage. Therefore, enclosed are the following documents for further processing, as indicated:

1. Five (5) copies of a "Resolution for Maintenance Under the Illinois Highway Code", in the total amount of \$2,600,000.00 to fund maintenance activities. After passage by the City Council, please have the City Clerk sign all five (5) copies, retain one (1) copy for City files, and return four (4) copies to our office for further processing with IDOT.
2. Five (5) copies of a "Maintenance Engineering Agreement", which covers Preliminary Engineering for all maintenance operations. Please have the Mayor sign all five (5) copies, retain one (1) copy for City files, and return four (4) copies to our office for further processing with IDOT.
3. Five (5) copies of a "Municipal Estimate of Maintenance Costs", indicating all the line items for expenditure in the total amount of \$2,590,900.00. Please have the Mayor sign all five (5) copies, retain one (1) copy for City files, and return four (4) copies to our office for further processing with IDOT.
4. Two (2) copies of the Specification Cover Sheet for the "Traffic Signal & Street Light Maintenance" project. Please have the Mayor sign both copies and return them to our office.
5. Two (2) copies of the Specification Cover Sheet for the "Residential Street Light LED Retrofits" project. Please have the Mayor sign both copies and return them to our office.
6. Two (2) copies of the Specification Cover Sheet for the "Pavement Marking" project. Please have the Mayor sign both copies and return them to our office.

Mr. Robert Schiller  
November 4, 2020  
Page Two

7. Two (2) copies of the Specification Cover Sheet for the "Street Patching" project. Please have the Mayor sign both copies and return them to our office.

Please review the enclosed and contact our office if you have any questions.

Sincerely,

**NOVOTNY ENGINEERING**



Thomas R. Brandstedt, P.E.

TRB/trb  
Enclosure  
cc: File No. 20341



Resolution for Maintenance Under the Illinois Highway Code



Resolution Number	Resolution Type	Section Number
	Original	21-00000-00-GM

BE IT RESOLVED, by the Council of the City of CITY of BERWYN of Illinois that there is hereby appropriated the sum of Two Million Six Hundred Thousand and 00/100 Dollars (\$2,600,000.00)

of Motor Fuel Tax funds for the purpose of maintaining streets and highways under the applicable provisions of Illinois Highway Code from 01/01/21 to 12/31/21.

BE IT FURTHER RESOLVED, that only those operations as listed and described on the approved Estimate of Maintenance Costs, including supplemental or revised estimates approved in connection with this resolution, are eligible for maintenance with Motor Fuel Tax funds during the period as specified above.

BE IT FURTHER RESOLVED, that City of CITY of BERWYN shall submit within three months after the end of the maintenance period as stated above, to the Department of Transportation, on forms available from the Department, a certified statement showing expenditures and the balances remaining in the funds authorized for expenditure by the Department under this appropriation, and

BE IT FURTHER RESOLVED, that the Clerk is hereby directed to transmit four (4) certified originals of this resolution to the district office of the Department of Transportation.

I, Name of Clerk City Clerk in and for said City of CITY of BERWYN in the State of Illinois, and keeper of the records and files thereof, as provided by statute, do hereby certify the foregoing to be a true, perfect and complete copy of a resolution adopted by the

Council of CITY of BERWYN at a meeting held on 11/10/20

IN TESTIMONY WHEREOF, I have hereunto set my hand and seal this 10 day of November, 2020

(SEAL)

Clerk Signature

APPROVED

Regional Engineer  
Department of Transportation

Date

--	--

**The City of Berwyn**



**Anthony T. Bertuca**  
City Attorney

J-5

**A Century of Progress with Pride**

November 10, 2020

To: Mayor Robert J. Lovero & City Council Members

From: Anthony Bertuca, City Attorney  
Nicole Campbell, Senior Engineer

Re: Resolution authorizing submittal of a grant application for Illinois Transportation Enhancement Program (ITEP) funds for 34<sup>th</sup> Street Improvements

The City is submitting an ITEP application for roadway and pedestrian improvements along 34<sup>th</sup> Street. The scope of the project will include signal improvements, pedestrian safety, roadway safety, resurfacing, patching, curb and gutter, green infrastructure, sidewalk and utilities. In order to submit an application for this grant opportunity, the attached resolution must be approved by Council and submitted to the Illinois Department of Transportation (IDOT).

Please note that this project has also been allocated Surface Transportation Program (STP) funds in order to initiate design engineering (see attached for reference). Additional grant opportunities will also be applied for, for construction costs and local match requirements.

It is recommended that the Council approve the attached resolution to accompany the grant application.

Sincerely,

  
Anthony T. Bertuca, City Attorney

  
Nicole Campbell, Senior Engineer



**CHAIRMAN**

Alice Gallagher  
*Village of Western Springs*

**MEMBER COMMUNITIES**

Mayor Robert Lovero  
*City of Berwyn*

President Kit Ketchmark  
*Village of Brookfield*

President Larry Dominick  
*Town of Cicero*

Mayor Sean McDermott  
*City of Countryside*

President Thomas Heller  
*Village of Forest View*

President Noel Cummings  
*Village of Hodgkins*

President Tom Hinshaw  
*Village of Indian Head Park*

President Tom Livingston  
*Village of LaGrange*

President Dr. Jim Discipio  
*Village of LaGrange Park*

President Christopher Getty  
*Village of Lyons*

President Terry Carr  
*Village of McCook*

President Ben Sells  
*Village of Riverside*

President Jeff Walik  
*Village of Stickney*

President Sergio Rodriguez  
*Village of Summit*

President Alice Gallagher  
*Village of Western Springs*

**COUNCIL LIAISON**

Michael Fricano



**CENTRAL  
COUNCIL OF MAYORS**

c/o WCMC  
2000 Fifth Avenue, Building N  
River Grove, Illinois 60171  
Ph 708/453-9100 Fax 708/453-9101

October 26, 2020

Nicole Campbell  
Senior Engineer  
City of Berwyn  
6700 26<sup>th</sup> Street  
Berwyn, IL 60402

Via email to [ncampbell@ci.berwyn.il.us](mailto:ncampbell@ci.berwyn.il.us)

Dear Nicole:

On October 14, 2020, the CMAP Board and MPO Policy Committee approved the FFY 2021 – 2025 STP – Local program that was approved by the Central Council on July 22, 2020. The approved program includes the below funding for the **34<sup>th</sup> Street Improvements** project. The TIP ID for this project is **05-20-0014**. Please use this ID in all project correspondence with CMAP.

Based on the funding commitments included in your project application, the maximum federal participation in each phase of this project will be limited to the percentage in the above table. This match percentage will be maintained for each phase, regardless of changes to the total cost of the phase.

**For phases that are programmed in FFY 2021, funding is available immediately, and must be obligated as described below no later than September 30, 2021. For phases that are programmed in later years, funding will become available on October 1 of the programmed year.**

All STP – Local projects are subject to the [Active Program Management \(APM\)](#) policies adopted by the CMAP STP Project Selection Committee on September 25, 2018. These policies are available at the link above and are attached to this letter. Highlights of these policies are provided below.

**Designated Project Managers**

Project sponsors must designate a technical project manager and a financial project manager by completing the attached Project Manager Designation form and returning the form to **Michael Fricano via email to [mfricano@westcook.org](mailto:mfricano@westcook.org), by Friday, November 20, 2020**. All future correspondence from Central Council or CMAP regarding this project will only be sent to the designated project managers.

**Quarterly Status Updates**

FFY	Phase	STP-Local	Local Match	Total Cost	Match Source(s)
2023	ENG 1	\$436,800	\$131,040	\$567,840	Local
2025	ENG 2	\$254,520	\$76,356	\$330,876	Local

Status updates must be submitted by either the technical or financial project manager every December, March, June, and September, beginning in December 2020, until the project is completed. Instructions for completing the status updates

**CHAIRMAN**

Alice Gallagher  
*Village of Western Springs*

**MEMBER COMMUNITIES**

Mayor Robert Lovero  
*City of Berwyn*

President Kit Ketchmark  
*Village of Brookfield*

President Larry Dominick  
*Town of Cicero*

Mayor Sean McDermott  
*City of Countryside*

President Thomas Heller  
*Village of Forest View*

President Noel Cummings  
*Village of Hodgkins*

President Tom Hinshaw  
*Village of Indian Head Park*

President Tom Livingston  
*Village of LaGrange*

President Dr. Jim Discipio  
*Village of LaGrange Park*

President Christopher Getty  
*Village of Lyons*

President Terry Carr  
*Village of McCook*

President Ben Sells  
*Village of Riverside*

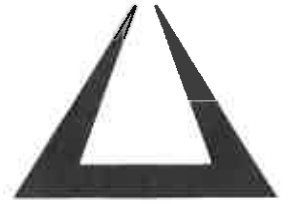
President Jeff Walik  
*Village of Stickney*

President Sergio Rodriguez  
*Village of Summit*

President Alice Gallagher  
*Village of Western Springs*

**COUNCIL LIAISON**

Michael Fricano



CENTRAL  
COUNCIL OF MAYORS

c/o WCMC  
2000 Fifth Avenue, Building N  
River Grove, Illinois 60171  
Ph 708/453-9100 Fax 708/453-9101

will be sent to the designated project managers on or before December 1, 2020. A sample update form is attached. Updates are required even when there has been no project activity since the last reporting period. Status updates may be submitted on any day during the required months. Updates submitted during any other month of the year, unless specifically requested by the Central or CMAP, will not be considered official submittals and will not satisfy the quarterly status update requirement of the APM policies. Failure to submit a required status update may result in project delays or removal from the STP – Local program. Projects removed from the program must re-apply for funds during the next call for projects cycle.

**Obligation Deadlines**

Funds are programmed for project phases in a specific federal fiscal year (FFY) and must be obligated by FHWA or FTA no later than the final day of that FFY, as shown in the table below.

Phases programmed in FFY	as of	must be obligated by:
2021	October 1, 2020	September 30, 2021
2022	October 1, 2021	September 30, 2022
2023	October 1, 2022	September 30, 2023
2024	October 1, 2023	September 30, 2024
2025	October 1, 2024	September 30, 2025

A FHWA obligation occurs when funds are authorized in FHWA’s Financial Management Information System (FMIS) database. The obligation typically occurs on or around the date that IDOT signs the Local Agency Agreement that was executed by the local agency. Further details on actions needed to obligate each phase can be found in the APM policies.

If programmed funds are not obligated by the deadline, the entire project may be removed from the STP program, and all funding may be reallocated to other project(s) that can meet the obligation deadlines. As described in the APM policies, sponsors will have an opportunity following the March status updates each year to request a one-time six month extension of the deadline or to voluntarily be removed from the program and placed in the contingency program for future funding consideration.

In order to meet the APM requirements, Central Council recommends you begin the following activities within the next 3-4 weeks:

**CHAIRMAN**

Alice Gallagher  
*Village of Western Springs*

**MEMBER COMMUNITIES**

Mayor Robert Lovero  
*City of Berwyn*

President Kit Ketchmark  
*Village of Brookfield*

President Larry Dominick  
*Town of Cicero*

Mayor Sean McDermott  
*City of Countryside*

President Thomas Heller  
*Village of Forest View*

President Noel Cummings  
*Village of Hodgkins*

President Tom Hinshaw  
*Village of Indian Head Park*

President Tom Livingston  
*Village of LaGrange*

President Dr. Jim Discipio  
*Village of LaGrange Park*

President Christopher Getty  
*Village of Lyons*

President Terry Carr  
*Village of McCook*

President Ben Sells  
*Village of Riverside*

President Jeff Walik  
*Village of Stickney*

President Sergio Rodriguez  
*Village of Summit*

President Alice Gallagher  
*Village of Western Springs*

**COUNCIL LIAISON**

Michael Fricano



**CENTRAL  
COUNCIL OF MAYORS**

c/o WCMC  
2000 Fifth Avenue, Building N  
River Grove, Illinois 60171  
Ph 708/453-9100 Fax 708/453-9101

- Complete the Project Manager Designation form (due **Friday, November 20, 2020**)
- Begin gathering data needed for the first quarterly status update
- Meet with Michael Fricano to discuss the project and APM requirements
- Ensure your GATA registration is up-to-date
- **If funding is for ENG1:**
  - Consider a pre-phase 1 kick-off meeting with IDOT and your PL
  - Begin/complete QBS to select a consultant
  - Upon completion of QBS, submit 5310 and engineering agreement
  - Upon IDOT execution of agreement, begin phase 1 with an official kick-off meeting
- **If funding is for ENG2:**
  - Begin/complete QBS to select a consultant
  - Secure DA (if not already done)
  - Upon completion of QBS and receipt of DA, submit 5310 and engineering agreement
  - Upon IDOT execution of agreement, begin phase 2 with an official kick-off meeting

Should you have any questions regarding this award, please contact Michael Fricano.

Sincerely,

Michael Fricano  
Central Council

enclosures

cc:

Kama Dobbs, Senior Program Analyst, CMAP (via email)  
Marilyn Solomon (via email)  
eTIP database project file

**THE CITY OF BERWYN**  
**COOK COUNTY, ILLINOIS**

---

**RESOLUTION**  
**NUMBER**

---

**A RESOLUTION OF THE CITY OF BERWYN, COOK COUNTY, ILLINOIS**  
**AUTHORIZING SUBMITTAL OF A GRANT APPLICATION FOR**  
**ILLINOIS TRANSPORTATION ENHANCEMENT PROGRAM FUNDS**  
**FOR THE 34<sup>TH</sup> STREET CORRIDOR IMPROVEMENT PROJECT**

---

**ROBERT J. LOVERO, Mayor**  
**MARGARET PAUL, City Clerk**  
**CYNTHIA MIRANDA, Treasurer**

**JAMES "SCOTT" LENNON**  
**JOSE RAMIREZ**  
**JEANINE REARDON**  
**ROBERT FEJT**  
**CESAR A. SANTOY**  
**ALICIA RUIZ**  
**RAFAEL AVILA**  
**ANTHONY NOWAK**  
**Aldermen**

**RESOLUTION NO.:** \_\_\_\_\_

**A RESOLUTION OF THE CITY OF BERWYN, COOK COUNTY, ILLINOIS  
AUTHORIZING SUBMITTAL OF A GRANT APPLICATION FOR ILLINOIS  
TRANSPORTATION ENHANCEMENT PROGRAM FUNDS FOR THE 34<sup>TH</sup> STREET  
COORIDOR IMPROVEMENT PROJECT**

**WHEREAS**, the City of Berwyn, Cook County, Illinois (the “City”) is a home rule municipality pursuant to Section 6(a), Article VII of the 1970 Constitution of the State of Illinois, and as such may exercise any power and perform any function pertaining to its government and affairs (the “Home Rule Powers”); and

**WHEREAS**, the Mayor and the City Council of the City of Berwyn (the “Corporate Authorities”) seek project funding through the programs offered by outside entities utilizing Federal or State, grant or loan funds; and

**WHEREAS**, federal grant funding is available through the Illinois Transportation Enhancement Program (ITEP) administered by the Illinois Department of Transportation; and

**WHEREAS**, these ITEP funds are to be utilized to fund projects which enhance the transportation system by serving a transportation need or by providing a transportation use or benefit; and

**WHEREAS**, the City of Berwyn has plans to construct streetscape improvements on 34<sup>th</sup> Street from Harlem Avenue to Ridgeland Avenue with a total project cost of \$8,363,600; and

**WHEREAS**, the proposed project is eligible for funding under ITEP.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and City Council of the City of Berwyn, Cook County, Illinois, by and through its Home Rule Powers, as follows:

**Section 1:** That the above recitals and legislative findings are incorporated herein and made a part hereof, as if fully set forth in their entirety.



**Section 2:** an application be made to the Illinois Department of Transportation for a financial assistance grant in the amount of \$2 million, which is approximately 25 percent of the total estimated construction cost, under the Illinois Transportation Enhancement Program for the purpose of funding the 34th Street Corridor Improvement Project; and

**Section 3:** the City of Berwyn and other grant funding will provide the 75 percent local matching funds in the amount of \$6,363,600 million for the proposed project; and

**Section 4:** the Mayor of the City of Berwyn is authorized and directed to execute and submit on behalf of the City of Berwyn such application.

All ordinances, resolutions, motions or orders in conflict with this Resolution are hereby repealed to the extent of such conflict. This Resolution shall be in full force and effect upon its passage, approval and publication as provided by law.

Adopted by the Mayor and City Council of the City of Berwyn, Cook County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_ 2020, pursuant to a roll call vote, as follows:

	YES	NO	ABSENT	PRESENT
Lennon				
Ramirez				
Reardon				
Fejt				
Santoy				
Ruiz				
Avila				
Nowak				
(Mayor Lovero)				
<b>TOTAL</b>				

Approved by the Mayor of the City of Berwyn, Cook County, Illinois on this \_\_\_\_\_ day of \_\_\_\_\_ 2020.

\_\_\_\_\_  
 Robert J. Lovero  
 MAYOR

ATTEST:

\_\_\_\_\_  
 Margaret Paul  
 CITY CLERK

**The City of Berwyn**



**Anthony T. Bertuca**  
City Attorney

*J-6*

**A Century of Progress with Pride**

November 10, 2020

To: Mayor Robert J. Lovero & City Council Members

From: Anthony Bertuca, City Attorney  
Nicole Campbell, Senior Engineer

Re: Resolution authorizing submittal of a grant application for Illinois Transportation Enhancement Program (ITEP) funds for Access to Transit Improvement Project

The City is submitting an ITEP application for roadway, pedestrian and transit improvements along 26<sup>th</sup> Street. The scope of the project will include signal improvements, pedestrian safety, roadway safety, resurfacing, patching, curb and gutter, green infrastructure, sidewalk and utilities. In order to submit an application for this grant opportunity, the attached resolution must be approved by Council and submitted to the Illinois Department of Transportation (IDOT).

Please note that this project has also been allocated Surface Transportation Program (STP) funds in order to initiate design engineering (see attached for reference). Additional grant opportunities will also be applied for, for construction costs and local match requirements.

It is recommended that the Council approve the attached resolution to accompany the grant application.

Sincerely,

*Anthony T. Bertuca*  
Anthony T. Bertuca, City Attorney

*Nicole Campbell*  
Nicole Campbell, Senior Engineer

**CHAIRMAN**

Alice Gallagher  
Village of Western Springs

**MEMBER COMMUNITIES**

Mayor Robert Lovero  
City of Berwyn

President Kit Ketchmark  
Village of Brookfield

President Larry Dominick  
Town of Cicero

Mayor Sean McDermott  
City of Countryside

President Thomas Heller  
Village of Forest View

President Noel Cummings  
Village of Hodgkins

President Tom Hinshaw  
Village of Indian Head Park

President Tom Livingston  
Village of LaGrange

President Dr. Jim Discipio  
Village of LaGrange Park

President Christopher Getty  
Village of Lyons

President Terry Carr  
Village of McCook

President Ben Sells  
Village of Riverside

President Jeff Walik  
Village of Stickney

President Sergio Rodriguez  
Village of Summit

President Alice Gallagher  
Village of Western Springs

**COUNCIL LIAISON**

Michael Fricano



CENTRAL  
COUNCIL OF MAYORS

c/o WCMC  
2000 Fifth Avenue, Building N  
River Grove, Illinois 60171  
Ph 708/453-9100 Fax 708/453-9101

October 26, 2020

Nicole Campbell  
Senior Engineer  
City of Berwyn  
6700 26<sup>th</sup> Street  
Berwyn, IL 60402

Via email to [ncampbell@ci.berwyn.il.us](mailto:ncampbell@ci.berwyn.il.us)

Dear Nicole:

On October 14, 2020, the CMAP Board and MPO Policy Committee approved the FFY 2021 – 2025 STP – Local program that was approved by the Central Council on July 22, 2020. The approved program includes the below funding for the **Access to Transit Streetscape Improvements** project. The TIP ID for this project is **05-20-0018**. Please use this ID in all project correspondence with CMAP.

Based on the funding commitments included in your project application, the maximum federal participation in each phase of this project will be limited to the percentage in the above table. This match percentage will be maintained for each phase, regardless of changes to the total cost of the phase.

**For phases that are programmed in FFY 2021, funding is available immediately, and must be obligated as described below no later than September 30, 2021. For phases that are programmed in later years, funding will become available on October 1 of the programmed year.**

All STP – Local projects are subject to the [Active Program Management \(APM\)](#) policies adopted by the CMAP STP Project Selection Committee on September 25, 2018. These policies are available at the link above and are attached to this letter. Highlights of these policies are provided below.

Designated Project Managers

Project sponsors must designate a technical project manager and a financial project manager by completing the attached Project Manager Designation form and returning the form to **Michael Fricano via email to [mfricano@westcook.org](mailto:mfricano@westcook.org), by Friday, November 20, 2020**. All future correspondence from Central Council or CMAP regarding this project will only be sent to the designated project managers.

Quarterly Status Updates

FFY	Phase	STP-Local	Local Match	Total Cost	Match Source(s)
2023	ENG 1	\$295,996	\$88,800	\$384,796	Local
2025	ENG 2	\$197,331	\$59,200	\$256,531	Local

Status updates must be submitted by either the technical or financial project manager every December, March, June, and September, beginning in December 2020, until the project is completed. Instructions for completing the status updates

**CHAIRMAN**

Alice Gallagher  
*Village of Western Springs*

**MEMBER COMMUNITIES**

Mayor Robert Lovero  
*City of Berwyn*

President Kit Ketchmark  
*Village of Brookfield*

President Larry Dominick  
*Town of Cicero*

Mayor Sean McDermott  
*City of Countryside*

President Thomas Heller  
*Village of Forest View*

President Noel Cummings  
*Village of Hodgkins*

President Tom Hinshaw  
*Village of Indian Head Park*

President Tom Livingston  
*Village of LaGrange*

President Dr. Jim Discipio  
*Village of LaGrange Park*

President Christopher Getty  
*Village of Lyons*

President Terry Carr  
*Village of McCook*

President Ben Sells  
*Village of Riverside*

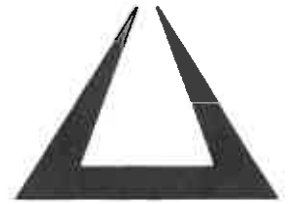
President Jeff Walik  
*Village of Stickney*

President Sergio Rodriguez  
*Village of Summit*

President Alice Gallagher  
*Village of Western Springs*

**COUNCIL LIAISON**

Michael Fricano



**CENTRAL  
COUNCIL OF MAYORS**

c/o WCMC  
2000 Fifth Avenue, Building N  
River Grove, Illinois 60171  
Ph 708/453-9100 Fax 708/453-9101

will be sent to the designated project managers on or before December 1, 2020. A sample update form is attached. Updates are required even when there has been no project activity since the last reporting period. Status updates may be submitted on any day during the required months. Updates submitted during any other month of the year, unless specifically requested by the Central or CMAP, will not be considered official submittals and will not satisfy the quarterly status update requirement of the APM policies. Failure to submit a required status update may result in project delays or removal from the STP – Local program. Projects removed from the program must re-apply for funds during the next call for projects cycle.

**Obligation Deadlines**

Funds are programmed for project phases in a specific federal fiscal year (FFY) and must be obligated by FHWA or FTA no later than the final day of that FFY, as shown in the table below.

Phases programmed in FFY	as of	must be obligated by:
2021	October 1, 2020	September 30, 2021
2022	October 1, 2021	September 30, 2022
2023	October 1, 2022	September 30, 2023
2024	October 1, 2023	September 30, 2024
2025	October 1, 2024	September 30, 2025

A FHWA obligation occurs when funds are authorized in FHWA’s Financial Management Information System (FMIS) database. The obligation typically occurs on or around the date that IDOT signs the Local Agency Agreement that was executed by the local agency. Further details on actions needed to obligate each phase can be found in the APM policies.

If programmed funds are not obligated by the deadline, the entire project may be removed from the STP program, and all funding may be reallocated to other project(s) that can meet the obligation deadlines. As described in the APM policies, sponsors will have an opportunity following the March status updates each year to request a one-time six month extension of the deadline or to voluntarily be removed from the program and placed in the contingency program for future funding consideration.

In order to meet the APM requirements, Central Council recommends you begin the following activities within the next 3-4 weeks:

**CHAIRMAN**

Alice Gallagher  
*Village of Western Springs*

**MEMBER COMMUNITIES**

Mayor Robert Lovero  
*City of Berwyn*

President Kit Ketchmark  
*Village of Brookfield*

President Larry Dominick  
*Town of Cicero*

Mayor Sean McDermott  
*City of Countryside*

President Thomas Heller  
*Village of Forest View*

President Noel Cummings  
*Village of Hodgkins*

President Tom Hinshaw  
*Village of Indian Head Park*

President Tom Livingston  
*Village of LaGrange*

President Dr. Jim Discipio  
*Village of LaGrange Park*

President Christopher Getty  
*Village of Lyons*

President Terry Carr  
*Village of McCook*

President Ben Sells  
*Village of Riverside*

President Jeff Walik  
*Village of Stickney*

President Sergio Rodriguez  
*Village of Summit*

President Alice Gallagher  
*Village of Western Springs*

**COUNCIL LIAISON**

Michael Fricano



**CENTRAL  
COUNCIL OF MAYORS**

c/o WCMC  
2000 Fifth Avenue, Building N  
River Grove, Illinois 60171  
Ph 708/453-9100 Fax 708/453-9101

- Complete the Project Manager Designation form (due **Friday, November 20, 2020**)
- Begin gathering data needed for the first quarterly status update
- Meet with Michael Fricano to discuss the project and APM requirements
- Ensure your GATA registration is up-to-date
- **If funding is for ENG1:**
  - Consider a pre-phase 1 kick-off meeting with IDOT and your PL
  - Begin/complete QBS to select a consultant
  - Upon completion of QBS, submit 5310 and engineering agreement
  - Upon IDOT execution of agreement, begin phase 1 with an official kick-off meeting
- **If funding is for ENG2:**
  - Begin/complete QBS to select a consultant
  - Secure DA (if not already done)
  - Upon completion of QBS and receipt of DA, submit 5310 and engineering agreement
  - Upon IDOT execution of agreement, begin phase 2 with an official kick-off meeting

Should you have any questions regarding this award, please contact Michael Fricano.

Sincerely,

Michael Fricano  
Central Council

enclosures

cc:

Kama Dobbs, Senior Program Analyst, CMAP (via email)

Marilyn Solomon (via email)

eTIP database project file



**THE CITY OF BERWYN**  
**COOK COUNTY, ILLINOIS**

---

**RESOLUTION**  
**NUMBER**

---

**A RESOLUTION OF THE CITY OF BERWYN, COOK COUNTY, ILLINOIS**  
**AUTHORIZING SUBMITTAL OF A GRANT APPLICATION FOR**  
**ILLINOIS TRANSPORTATION ENHANCEMENT PROGRAM FUNDS**  
**FOR THE ACCESS TO TRANSIT IMPROVEMENT PROJECT**

---

**ROBERT J. LOVERO, Mayor**  
**MARGARET PAUL, City Clerk**  
**CYNTHIA MIRANDA, Treasurer**

**JAMES "SCOTT" LENNON**  
**JOSE RAMIREZ**  
**JEANINE REARDON**  
**ROBERT FEJT**  
**CESAR A. SANTOY**  
**ALICIA RUIZ**  
**RAFAEL AVILA**  
**ANTHONY NOWAK**  
**Aldermen**

RESOLUTION NO.: \_\_\_\_\_

**A RESOLUTION OF THE CITY OF BERWYN, COOK COUNTY, ILLINOIS  
AUTHORIZING SUBMITTAL OF A GRANT APPLICATION FOR ILLINOIS  
TRANSPORTATION ENHANCEMENT PROGRAM FUNDS FOR THE ACCESS TO  
TRANSIT IMPROVEMENT PROJECT**

**WHEREAS**, the City of Berwyn, Cook County, Illinois (the “City”) is a home rule municipality pursuant to Section 6(a), Article VII of the 1970 Constitution of the State of Illinois, and as such may exercise any power and perform any function pertaining to its government and affairs (the “Home Rule Powers”); and

**WHEREAS**, the Mayor and the City Council of the City of Berwyn (the “Corporate Authorities”) seek project funding through the programs offered by outside entities utilizing Federal or State, grant or loan funds; and

**WHEREAS**, federal grant funding is available through the Illinois Transportation Enhancement Program (ITEP) administered by the Illinois Department of Transportation; and

**WHEREAS**, these ITEP funds are to be utilized to fund projects which enhance the transportation system by serving a transportation need or by providing a transportation use or benefit; and

**WHEREAS**, the City of Berwyn has plans to construct streetscape and improvements on 26th Street from Harlem Avenue to Lombard Avenue with a total project cost of \$11,871,340; and

**WHEREAS**, the proposed project is eligible for funding under ITEP.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and City Council of the City of Berwyn, Cook County, Illinois, by and through its Home Rule Powers, as follows:

**Section 1:** That the above recitals and legislative findings are incorporated herein and made a part hereof, as if fully set forth in their entirety.

**Section 2:** an application be made to the Illinois Department of Transportation for a financial assistance grant in the amount of \$2,000,000, which is approximately 77 percent of the total estimated eligible costs, under the Illinois Transportation Enhancement Program for the purpose of funding the Access to Transit Improvement Project; and

**Section 3:** the City and other grant funding will provide the required local matching funds in the amount of \$9,871,340 for the proposed project; and

**Section 4:** the Mayor of the City of Berwyn is authorized and directed to execute and submit on behalf of the City of Berwyn such application.

All ordinances, resolutions, motions or orders in conflict with this Resolution are hereby repealed to the extent of such conflict. This Resolution shall be in full force and effect upon its passage, approval and publication as provided by law.

**Adopted** by the Mayor and City Council of the City of Berwyn, Cook County, Illinois this \_\_\_\_\_ day of \_\_\_\_\_ 2020, pursuant to a roll call vote, as follows:

	<b>YES</b>	<b>NO</b>	<b>ABSENT</b>	<b>PRESENT</b>
Lennon				
Ramirez				
Reardon				
Fejt				
Santoy				
Ruiz				
Avila				
Nowak				
(Mayor Lovero)				
<b>TOTAL</b>				

**Approved** by the Mayor of the City of Berwyn, Cook County, Illinois on this \_\_\_\_\_ day of \_\_\_\_\_ 2020.

\_\_\_\_\_  
**Robert J. Lovero**  
**MAYOR**

**ATTEST:**

\_\_\_\_\_  
**Margaret Paul**  
**CITY CLERK**

BATCH	CK DATE	GROSS	FED	EMPLOYER FICA	EMPLOYER MEDICARE	STATE
2202022	10/28/2020	1,182,490.57	122,670.97	26,175.35	15,921.91	48,093.19
FEDERAL	Federal	164,768.23				
STATE	State	48,093.19				

K-1



K2

# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 02 - Mayor's Office										
Account 5220 - Training, Dues & Publications										
5594 - Chase		2020-00001169 Chase Credit Card Purchases	Paid by Check # 56109		11/05/2020	11/05/2020			11/11/2020	15.96
			Account 5220 - Training, Dues & Publications Totals							<u>\$15.96</u>
			Department 02 - Mayor's Office Totals							<u>\$15.96</u>
Department 03 - City Administrator's Office										
Account 5220 - Training, Dues & Publications										
5594 - Chase		2020-00001169 Chase Credit Card Purchases	Paid by Check # 56109		11/05/2020	11/05/2020			11/11/2020	309.30
			Account 5220 - Training, Dues & Publications Totals							<u>\$309.30</u>
5594 - Chase		2020-00001169 Chase Credit Card Purchases	Paid by Check # 56109		11/05/2020	11/05/2020			11/11/2020	185.11
			Account 5290 - Other General Expenses Totals							<u>\$185.11</u>
			Department 03 - City Administrator's Office Totals							<u>\$494.41</u>
Department 08 - City Council										
Account 5200-01 - Administrative Expenses Ward 1										
5955 - Berwyn Public Art Initiative		2020-00001152 Alderman Donation / James Scott Lennon	Paid by Check # 56058		10/28/2020	10/28/2020			10/29/2020	250.00
6157 - Pershing PTO		2020-00001153 Alderman Donation / James Scott Lennon	Paid by Check # 56071		10/28/2020	10/28/2020			10/29/2020	100.00
5955 - Berwyn Public Art Initiative		2020-00001170 Alderman Donation / James Scott Lennon	Paid by Check # 56103		11/05/2020	11/05/2020			11/11/2020	250.00
			Account 5200-01 - Administrative Expenses Ward 1 Totals							<u>\$600.00</u>
5955 - Berwyn Public Art Initiative		2020-00001171 2nd Ward Alderman Donation / Jose Ramirez	Paid by Check # 56103		11/05/2020	11/05/2020			11/11/2020	250.00
			Account 5200-02 - Administrative Expenses Ward 2 Totals							<u>\$250.00</u>
			Department 08 - City Council Totals							<u>\$850.00</u>
Department 10 - Legal										
Account 5300 - Professional Services										
2021 - Del Galdo Law Group, LLC		25156 Legal Services Sep. 2020	Paid by Check # 56119		11/04/2020	11/04/2020			11/11/2020	20,210.74
2021 - Del Galdo Law Group, LLC		25155 Legal Services Sep. 2020	Paid by Check # 56119		11/04/2020	11/04/2020			11/11/2020	6,483.00
4501 - Klein, Thorpe and Jenkins, LTD.		213365 Zoning Board of Appeals Through Sep. 2020	Paid by Check # 56152		11/04/2020	11/04/2020			11/11/2020	5,095.80
2077 - Patrick N. Murray		OCTOBER2020 Administrative Law Judge	Paid by Check # 56169		11/04/2020	11/04/2020			11/11/2020	2,100.00





# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 10 - Legal										
Account 5300 - Professional Services										
5601 - Servicios Fuentes LTD	2020-00001161	Legal Services Sep/Oct. 2020	Paid by Check # 56182		11/04/2020	11/04/2020	11/04/2020		11/11/2020	1,650.00
Department 12 - Finance										
Account 5290 - Other General Expenses										
5594 - Chase	2020-00001169	Chase Credit Card Purchases	Paid by Check # 56109		11/05/2020	11/05/2020	11/05/2020		11/11/2020	39.00
Sub Department 11 - Collector's Office										
Account 5300-03 - Professional Services Service Fees										
249 - Third Millennium Associates, Inc.	25411	Vehicle Sticker Services	Paid by Check # 56077		10/27/2020	10/27/2020	10/27/2020		10/29/2020	5.00
Department 16 - Information Technology										
Account 5290 - Other General Expenses										
1800 - CDW Government, Inc.	2846677	4 Watt Speakers	Paid by Check # 56059		10/27/2020	10/27/2020	10/27/2020		10/29/2020	55.73
4951 - COTG	IN2515952	COTG Printing /Ink	Paid by Check # 56061		10/27/2020	10/27/2020	10/27/2020		10/29/2020	212.60
20693 - PC Connection Sales Corp	70574343	Fortigate VPN Tokens	Paid by Check # 56070		10/27/2020	10/27/2020	10/27/2020		10/29/2020	194.74
6126 - Verizon	9865745311	Sep. 26 - Oct. 25 2020	Paid by Check # 56197		11/04/2020	11/04/2020	11/04/2020		11/11/2020	508.76
Account 5300 - Professional Services										
5489 - Peters & Associates, Inc.	CW43430	Peters Pulse Maintenance/ Monthly	Paid by Check # 56171		11/04/2020	11/04/2020	11/04/2020		11/11/2020	500.00
Account 5300 - Professional Services										
1965 - Dell Marketing, LP	104332826602	Dell Dual Monitor Arm	Paid by Check # 56062		10/27/2020	10/27/2020	10/27/2020		10/29/2020	209.99
5820 - SYNCB / AMAZON	2020-00001155	Cyber Power UPS (2), APC UPS (3), Cobra cam (1) Rosewill case 2	Paid by Check # 56076		10/27/2020	10/27/2020	10/27/2020		10/29/2020	1,351.78
Account 5300 - Professional Services										
Account 5290 - Other General Expenses Totals										\$971.83
Account 5300 - Professional Services Totals										\$500.00
Invoice Transactions 1										\$5.00
Invoice Transactions 1										\$5.00
Invoice Transactions 2										\$44.00
Invoice Transactions 1										\$39.00
Invoice Transactions 5										\$35,539.54
Invoice Transactions 5										\$35,539.54



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 16 - Information Technology										
Account 5510 - Hardware Purchase										
1965 - Dell Marketing, LP	10433784833	Dell 19' LCD Monitors	Paid by Check # 56120		11/04/2020	11/04/2020			11/11/2020	764.45
				Account 5510 - Hardware Purchase Totals						<u>\$2,326.22</u>
4024 - AT & T	708788324810-3	Open ATT Invoices/POTS/Circuit/P R/S	Paid by Check # 56055		10/27/2020	10/27/2020			10/29/2020	96.73
				Account 5530 - Network Infrastructure Totals						<u>\$2,326.22</u>
4024 - AT & T	708788414810-4	Open ATT Invoices/POTS/Circuit/P R/S	Paid by Check # 56055		10/27/2020	10/27/2020			10/29/2020	96.73
				Account 5530 - Network Infrastructure Totals						<u>\$6,457.38</u>
4024 - AT & T	708202001710-4	Open ATT Invoices/POTS/Circuit/P R/S	Paid by Check # 56055		10/27/2020	10/27/2020			10/29/2020	5,349.42
				Account 5530 - Network Infrastructure Totals						<u>\$6,457.38</u>
5330 - AT&T Long Distance	834894336-18	Att Long Distance	Paid by Check # 56056		10/27/2020	10/27/2020			10/29/2020	914.50
				Account 5530 - Network Infrastructure Totals						<u>\$6,457.38</u>
				Department 16 - Information Technology Totals						<u>\$10,255.43</u>
Department 17 - Administrative										
Account 5035-01 - Benefits Health Insurance										
16 - Dearborn National Life Insurance Company	2020-00001175	11/20 insurance premiums	Paid by Check # 56117		11/01/2020	11/01/2020			11/11/2020	5,905.96
				Account 5035-01 - Benefits Health Insurance Totals						<u>\$946,117.55</u>
15 - Health Care Service Corporation	2020-00001174	11/20 insurance premiums	Paid by Check # 56139		11/01/2020	11/01/2020			11/11/2020	940,211.59
				Account 5035-01 - Benefits Health Insurance Totals						<u>\$946,117.55</u>
504 - AETNA	2020-00001172	11/20 insurance premiums	Paid by Check # 56090		11/01/2020	11/01/2020			11/11/2020	39,446.77
				Account 5035-02 - Benefits Dental Insurance Totals						<u>\$39,446.77</u>
16 - Dearborn National Life Insurance Company	2020-00001173	11/20 insurance premiums	Paid by Check # 56117		11/01/2020	11/01/2020			11/11/2020	10,190.13
				Account 5035-03 - Benefits Life Insurance Totals						<u>\$10,190.13</u>
				Department 17 - Administrative Totals						<u>\$995,754.45</u>
Department 18 - Fire Department										
Account 5215 - Telephone										
302 - Sprint	511855222-209	Sept. 22- Oct. 21 2020	Paid by Check # 56185		11/04/2020	11/04/2020			11/11/2020	585.50
				Account 5215 - Telephone Totals						<u>\$585.50</u>



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Vendor Fund 100 - General Fund</b> <b>Department 18 - Fire Department</b> <b>Account 5220 - Training, Dues &amp; Publications</b>										
2157 - Illinois Fire Inspectors Association	21610	2021 Membership Dues	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	100.00
			# 56142							
117 - Village of Romeoville Fire Academy	2020-316	Training / Thomas Schlesinger & Dylan Duncan	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	900.00
			# 56199							
<b>Account 5220 - Training, Dues &amp; Publications Totals</b> <b>Invoice Transactions 2</b> <b>\$1,000.00</b>										
<b>Account 5225 - Supplies</b>										
5745 - Battery Junction	1643676	Batteries	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	148.20
			# 56100							
1757 - Emergency Medical Products, Inc.	2209353	Fire Dept Supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	299.54
			# 56126							
1171 - US Gas	343926	Medical Compressed Oxygen Cylinders	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	123.90
			# 56195							
1171 - US Gas	343992	Medical Compressed Oxygen Cylinders	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	24.00
			# 56195							
<b>Account 5225 - Supplies Totals</b> <b>Invoice Transactions 4</b> <b>\$595.64</b>										
<b>Account 5290 - Other General Expenses</b>										
534 - Eagle Engraving	2020-4579	Mabas Tags	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	14.60
			# 56125							
5523 - L-K Fire Extinguisher Service Inc. No 73422		Recharged Fire Extinguisher	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	91.00
			# 56153							
591 - The Sign Edge	191434	Engraved Name Plates	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	75.00
			# 56192							
<b>Account 5290 - Other General Expenses Totals</b> <b>Invoice Transactions 3</b> <b>\$180.60</b>										
<b>Account 5400-30 - Repairs &amp; Maintenance Building</b>										
2696 - Chicago Metropolitan Fire Prevention Company	IN00343702	F/A Radio Use / Maintenance	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	108.75
			# 56110							
31117 - Gralinger	9665014636	HVAC Repairs /Monitoring	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	19.66
			# 56135							
391 - Tele-Tron Ace Hardware	90667	Fire Dept Supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	59.89
			# 56191							
<b>Account 5400-30 - Repairs &amp; Maintenance Building Totals</b> <b>Invoice Transactions 3</b> <b>\$188.30</b>										
<b>Account 5400-31 - Repairs &amp; Maintenance Fleet</b>										
821 - Metro Collision Service / Metro Garage, Inc.	47671	Safety Inspections	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	25.00
			# 56159							
821 - Metro Collision Service / Metro Garage, Inc.	47672	Safety Inspections	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	25.00
			# 56159							
4855 - Seagrave Fire Apparatus, LLC	0124380	Element Filters	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	415.67
			# 56181							



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 18 - Fire Department										
Account 5400-31 - Repairs & Maintenance Fleet										
391 - Tele-Tron Ace Hardware	90782	Fire Dept Supplies	Paid by Check # 56191		11/04/2020	11/04/2020			11/11/2020	113.64
			Account 5400-31 - Repairs & Maintenance Fleet Totals							<b>\$579.31</b>
Account 5500 - Equipment										
1330 - Air One Equipment, Inc.	161944	Breathing Air Quality Test	Paid by Check # 56091		11/04/2020	11/04/2020			11/11/2020	150.00
1330 - Air One Equipment, Inc.	161945	Breathing Air Quality Test	Paid by Check # 56091		11/04/2020	11/04/2020			11/11/2020	150.00
			Account 5500 - Equipment Totals							<b>\$300.00</b>
Department 20 - Police Department										
Account 5040 - Tuition Reimbursement										
3168 - John Hadjiannou	L30054584	Tuition Reimbursement	Paid by Check # 56146		11/04/2020	11/04/2020			11/11/2020	1,906.61
6104 - Katie Perez	10282020	Tuition Reimbursement	Paid by Check # 56151		11/04/2020	11/04/2020			11/11/2020	1,818.24
4232 - Michael Fellows	2020-00001165	Tuition Reimbursement	Paid by Check # 56160		11/04/2020	11/04/2020			11/11/2020	1,943.00
			Account 5040 - Tuition Reimbursement Totals							<b>\$5,667.85</b>
Account 5210 - Vehicle Gas & Oil										
5805 - Wex Bank	68428772	Fuel Purchase	Paid by Check # 56201		11/04/2020	11/04/2020			11/11/2020	211.83
			Account 5210 - Vehicle Gas & Oil Totals							<b>\$211.83</b>
Account 5215-01 - Telephone In-House										
4024 - AT & T	708788401910-3	Telephones	Paid by Check # 56095		11/04/2020	11/04/2020			11/11/2020	1,763.19
5703 - Technology Management Revolving Fund	T2107779	Le.a.d.s. Lines	Paid by Check # 56190		11/04/2020	11/04/2020			11/11/2020	942.40
			Account 5215-01 - Telephone In-House Totals							<b>\$2,705.59</b>
Account 5215-03 - Telephone Cell										
4029 - AT&T Mobility	X11032020	First Net Telephone & Data	Paid by Check # 56096		11/04/2020	11/04/2020			11/11/2020	36.24
			Account 5215-03 - Telephone Cell Totals							<b>\$36.24</b>
Account 5220 - Training, Dues & Publications										
5594 - Chase	2020-00001169	Chase Credit Card Purchases	Paid by Check # 56109		11/05/2020	11/05/2020			11/11/2020	39.96
1931 - College of DuPage	12552	Training	Paid by Check # 56113		11/04/2020	11/04/2020			11/11/2020	400.00
265 - Northeast Multi-Regional Training, Inc.	Z76874	Training / Robert Trofimchuk	Paid by Check # 56163		11/04/2020	11/04/2020			11/11/2020	255.00
			Account 5220 - Training, Dues & Publications Totals							<b>\$694.96</b>



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Vendor Fund 100 - General Fund</b>										
<b>Department 20 - Police Department</b>										
<b>Account 5225 - Supplies</b>										
2578 - Aqua Chill of Chicago LLC	2262952	Water Cooler Rentals	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	152.00
			# 56094							
5482 - JG Uniforms	78004	Law Enforcement Supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	219.35
			# 56144							
1241 - Sirchie Finger Print Laboratories	0466049-IN	Law Enforcement Supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	520.78
			# 56183							
391 - Tele-Tron Ace Hardware	90641	P.D. Supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	39.98
			# 56191							
<b>Account 5225-01 - Supplies Office</b>										
5669 - Garvey's Office Products	S0513084	P.D. Office Supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	178.81
			# 56134							
<b>Account 5225-01 - Supplies Office Totals</b>										
										<b>\$932.11</b>
<b>Account 5235 - Postage &amp; Printing</b>										
465 - Diamond Graphics, Inc.	0102830572	Printing	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	125.00
			# 56122							
<b>Account 5235 - Postage &amp; Printing Totals</b>										
										<b>\$178.81</b>
<b>Account 5290 - Other General Expenses</b>										
478 - Comcast Cable	2020-00001162	Internet	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	243.82
			# 56114							
465 - Diamond Graphics, Inc.	0102830564	Printing	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	4,385.00
			# 56122							
4919 - Everbridge, Inc.	M56733	Reverse 911 Software	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	14,500.00
			# 56128							
5482 - JG Uniforms	77860	Civilian Uniforms	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	84.00
			# 56144							
6010 - Occupational Health Center at River Forest	6252	Drug Screen	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	40.00
			# 56164							
5800 - Quicket Solutions	0000667	Software	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	6,880.00
			# 56174							
4890 - Sprague Distributing Co.	2193	Neighborhood Watch Distribution	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	1,530.00
			# 56184							
<b>Account 5290 - Other General Expenses Totals</b>										
										<b>\$27,662.82</b>
<b>Account 5400-30 - Repairs &amp; Maintenance Building</b>										
3638 - ClearView Plumbing & Sewer Corp	3993e	Emergency plumbing	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	1,110.94
			# 56112							
3638 - ClearView Plumbing & Sewer Corp	3990e	Emergency plumbing	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	1,698.05
			# 56112							
1825 - Halloran & Yauch, Inc.	20962	Sprinkler Inspection & Repairs	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	195.05
			# 56138							
4379 - Patrick Engineering	21953.039-4	Repairs & Maintenance	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	3,925.00
			# 56168							



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Fund 100 - General Fund</b>										
<b>Department 20 - Police Department</b>										
Account 5400-30 - Repairs & Maintenance Building										
345 - Professional Pest Control, Inc.	2020-00001163	Exterminator Fee	Paid by Check # 56172		11/04/2020	11/04/2020	11/04/2020		11/11/2020	65.00
345 - Professional Pest Control, Inc.	2020-00001164	Exterminator Fee	Paid by Check # 56172		11/04/2020	11/04/2020	11/04/2020		11/11/2020	45.00
5695 - Sysenco Midwest	1540	Building Repairs & Maintenance	Paid by Check # 56189		11/04/2020	11/04/2020	11/04/2020		11/11/2020	2,595.75
Account 5400-31 - Repairs & Maintenance Fleet										<b>\$9,634.75</b>
2673 - Deece Automotive	37820	Vehicle Maintenance	Paid by Check # 56118		11/04/2020	11/04/2020	11/04/2020		11/11/2020	3,210.00
32052 - Just Tires	326459	New Tires & Repairs	Paid by Check # 56147		11/04/2020	11/04/2020	11/04/2020		11/11/2020	163.79
1678 - Mike & Sons	43580	Vehicle Repairs	Paid by Check # 56162		11/04/2020	11/04/2020	11/04/2020		11/11/2020	797.00
Account 5400-31 - Repairs & Maintenance Fleet Totals										<b>\$4,170.79</b>
Department 20 - Police Department Totals										<b>\$52,020.79</b>
<b>Department 22 - Fire &amp; Police Commission</b>										
Account 5290 - Other General Expenses										
4000 - Tony Laureto	2020-00001151	Expense Reimbursement	Paid by Check # 56078		10/28/2020	10/28/2020	10/28/2020		10/29/2020	53.88
Account 5290 - Other General Expenses Totals										<b>\$53.88</b>
<b>6010 - Occupational Health Center at River Forest</b>										
Account 5290-11 - Other General Expenses Pre-Employment Physicals										
Physical Exams										
Paid by Check # 56164										
Account 5290-11 - Other General Expenses Pre-Employment Physicals Totals										<b>\$4,380.00</b>
Department 22 - Fire & Police Commission Totals										<b>\$4,433.88</b>
<b>Department 24 - Building/Neighborhood Affairs</b>										
Account 5300 - Professional Services										
1074 - K's Quality Construction, Inc.	20-227	Board Up & Misc Services	Paid by Check # 56068		10/26/2020	10/26/2020	10/26/2020		10/29/2020	472.00
1074 - K's Quality Construction, Inc.	20-230	Board Up & Misc Services	Paid by Check # 56068		10/26/2020	10/26/2020	10/26/2020		10/29/2020	335.00
1074 - K's Quality Construction, Inc.	20-231	Board Up & Misc Services	Paid by Check # 56068		10/26/2020	10/26/2020	10/26/2020		10/29/2020	315.00
1074 - K's Quality Construction, Inc.	20-232	Board Up & Misc Services	Paid by Check # 56068		10/26/2020	10/26/2020	10/26/2020		10/29/2020	1,426.00
1074 - K's Quality Construction, Inc.	20-233	Board Up & Misc Services	Paid by Check # 56068		10/26/2020	10/26/2020	10/26/2020		10/29/2020	315.00
4953 - Paramount Restoration Group, Inc.	12000	Board Up & Misc Services	Paid by Check # 56069		10/26/2020	10/26/2020	10/26/2020		10/29/2020	1,326.00
167 - Frank Novotny & Associates, Inc.	18462-7	Engineering Services	Paid by Check # 56131		11/05/2020	11/05/2020	11/05/2020		11/11/2020	155.00





# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Vendor Fund 100 - General Fund</b> Department 24 - Building/Neighborhood Affairs Account 5300 - Professional Services										
167 - Frank Novotny & Associates, Inc.	19236-4	Engineering Services June 2020	Paid by Check # 56131		11/05/2020	11/05/2020	11/05/2020		11/11/2020	310.00
167 - Frank Novotny & Associates, Inc.	19381-3	Engineering Services Aug.2020	Paid by Check # 56131		11/05/2020	11/05/2020	11/05/2020		11/11/2020	310.00
167 - Frank Novotny & Associates, Inc.	19381-4	Engineering Services Aug.2020	Paid by Check # 56131		11/05/2020	11/05/2020	11/05/2020		11/11/2020	155.00
3014 - JNC Consulting, Inc.	1298	Permit Inspections Nov. 2020	Paid by Check # 56145		11/05/2020	11/05/2020	11/05/2020		11/11/2020	3,100.00
4953 - Paramount Restoration Group, Inc.	12001	Board Up & Misc Services	Paid by Check # 56166		11/05/2020	11/05/2020	11/05/2020		11/11/2020	1,218.00
4953 - Paramount Restoration Group, Inc.	12002	Board Up & Misc Services	Paid by Check # 56166		11/05/2020	11/05/2020	11/05/2020		11/11/2020	350.00
4953 - Paramount Restoration Group, Inc.	12003	Board Up & Misc Services	Paid by Check # 56166		11/05/2020	11/05/2020	11/05/2020		11/11/2020	350.00
4953 - Paramount Restoration Group, Inc.	12004	Board Up & Misc Services	Paid by Check # 56166		11/05/2020	11/05/2020	11/05/2020		11/11/2020	825.00
4953 - Paramount Restoration Group, Inc.	12005	Board Up & Misc Services	Paid by Check # 56166		11/05/2020	11/05/2020	11/05/2020		11/11/2020	2,823.00
<b>Account 5400 - Repairs &amp; Maintenance</b> Account 5300 - Professional Services Totals Invoice Transactions 16 <b>\$13,785.00</b>										
5887 - FSS Technologies LLC	395719	FIRE ALARM Inspection	Paid by Check # 56065		10/26/2020	10/26/2020	10/26/2020		10/29/2020	1,368.00
1839 - Robert R. Andreas & Sons	011220-07SNOW	snow removal	Paid by Check # 56072		10/26/2020	10/26/2020	10/26/2020		10/29/2020	526.20
1839 - Robert R. Andreas & Sons	011820-07SNOW	snow removal	Paid by Check # 56072		10/26/2020	10/26/2020	10/26/2020		10/29/2020	983.20
1839 - Robert R. Andreas & Sons	012320-07SNOW	snow removal	Paid by Check # 56072		10/26/2020	10/26/2020	10/26/2020		10/29/2020	1,052.40
1839 - Robert R. Andreas & Sons	020720-07SNOW	snow removal	Paid by Check # 56072		10/26/2020	10/26/2020	10/26/2020		10/29/2020	526.20
1839 - Robert R. Andreas & Sons	021320-07SNOW	snow removal	Paid by Check # 56072		10/26/2020	10/26/2020	10/26/2020		10/29/2020	1,294.40
1839 - Robert R. Andreas & Sons	022620-07SNOW	snow removal	Paid by Check # 56072		10/26/2020	10/26/2020	10/26/2020		10/29/2020	526.20
1839 - Robert R. Andreas & Sons	102120-07SNOW	snow	Paid by Check # 56072		10/26/2020	10/26/2020	10/26/2020		10/29/2020	1,509.40
6160 - All Star Roofing & General Contracting	2020-00001156	Roof Repairs	Paid by Check # 56088		11/04/2020	11/04/2020	11/04/2020		11/04/2020	4,465.00
<b>Account 5400 - Repairs &amp; Maintenance Totals Invoice Transactions 9 \$12,251.00</b> <b>Department 24 - Building/Neighborhood Affairs Totals Invoice Transactions 25 \$26,036.00</b>										



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 26 - Public Works										
Sub Department 35 - Streets										
Account 5015 - Stipends - Uniform										
280 - Roscoe Company	1670940	uniforms	Paid by Check		11/04/2020	11/04/2020			11/11/2020	103.91
			# 56178							
280 - Roscoe Company	1671938	uniforms	Paid by Check		11/04/2020	11/04/2020			11/11/2020	103.91
			# 56178							
Account 5015 - Stipends - Uniform Totals										<b>\$207.82</b>
Account 5220 - Training, Dues & Publications										
4478 - Environmental Systems Research Institute, Inc.	00235721.8	computer software	Paid by Check		11/04/2020	11/04/2020			11/11/2020	3,718.75
			# 56127							
Account 5220 - Training, Dues & Publications Totals										<b>\$3,718.75</b>
Account 5300 - Professional Services										
5155 - Gei Consultants	3071630	Depot District Streetscape	Paid by Check		10/28/2020	10/28/2020			10/29/2020	416.00
			# 56066							
1103 - Lyons Tree Service, Inc.	NOVEMBER2020	tree trimming /removal	Paid by Check		11/04/2020	11/04/2020			11/11/2020	4,772.00
	0		# 56156							
Account 5300 - Professional Services Totals										<b>\$5,188.00</b>
Account 5400 - Repairs & Maintenance										
5684 - Dupage Materials Company, LLC	12776	asphalt	Paid by Check		11/04/2020	11/04/2020			11/11/2020	269.37
			# 56124							
5684 - Dupage Materials Company, LLC	12741	asphalt	Paid by Check		11/04/2020	11/04/2020			11/11/2020	388.73
			# 56124							
2884 - K-Five Hoddkins LLC	27403	asphalt	Paid by Check		11/04/2020	11/04/2020			11/11/2020	390.62
			# 56148							
2884 - K-Five Hoddkins LLC	27183	asphalt	Paid by Check		11/04/2020	11/04/2020			11/11/2020	340.89
			# 56148							
3422 - Kara Company, Inc.	1966078	supplies	Paid by Check		11/04/2020	11/04/2020			11/11/2020	998.40
			# 56150							
158 - Russo Power Equipment	SP110456935	supplies	Paid by Check		11/04/2020	11/04/2020			11/11/2020	179.16
			# 56179							
391 - Tele-Tron Ace Hardware	90627	supplies	Paid by Check		11/04/2020	11/04/2020			11/11/2020	748.69
			# 56191							
Account 5400 - Repairs & Maintenance Totals										<b>\$3,315.86</b>
Account 5400-02 - Repairs & Maintenance Street/Sidewalk										
5149 - M & J Asphalt Paving	690	2019 cost share sidewalk replacement	Paid by Check		11/04/2020	11/04/2020			11/11/2020	165,365.90
			# 56157							
Account 5400-02 - Repairs & Maintenance Street/Sidewalk Totals										<b>\$165,365.90</b>
Account 5400-02 - Repairs & Maintenance Street/Sidewalk										
Sub Department 35 - Streets Totals										<b>\$177,796.33</b>
Sub Department 37 - Fleet										
Account 5225 - Supplies										
69 - Warehouse Direct	4790663-0	supplies	Paid by Check		11/04/2020	11/04/2020			11/11/2020	493.20
			# 56200							
Account 5225 - Supplies Totals										<b>\$493.20</b>



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 26 - Public Works										
Sub Department 37 - Fleet										
Account 5300 - Professional Services										
1103 - Lyons Tree Service, Inc.	OCTOBER2020	tree trimming /removal	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	4,464.00
			# 56156							
Account 5400 - Repairs & Maintenance										
5923 - Battery Service Corporation	0068151	supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	933.60
			# 56101							
182 - Freeway Ford Truck Sales, Inc.	541030	fleet supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	86.10
			# 56132							
182 - Freeway Ford Truck Sales, Inc.	540782	fleet supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	1,496.12
			# 56132							
5603 - L.A. Fasteners Inc	1-233594	supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	215.92
			# 56154							
1000 - Standard Equipment Company	P25387	fleet supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	221.88
			# 56186							
1000 - Standard Equipment Company	P25436	fleet supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	153.33
			# 56186							
1000 - Standard Equipment Company	P25499	fleet supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	263.82
			# 56186							
1364 - Tyrad Automotive	006-213556	supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	122.57
			# 56193							
1364 - Tyrad Automotive	006-213578	supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	149.00
			# 56193							
1149 - Vermeer - Illinois, Inc.	PF6366	supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	263.96
			# 56198							
69 - Warehouse Direct	4636051-0	supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	240.00
			# 56200							
306 - Wholesale Direct, Inc.	000247723	supplies	Paid by Check		11/04/2020	11/04/2020	11/04/2020		11/11/2020	417.93
			# 56202							
Account 5400 - Repairs & Maintenance Totals										\$4,564.23
Sub Department 37 - Fleet Totals										\$9,521.43
Department 26 - Public Works Totals										\$187,317.76
Department 32 - Recreation										
Account 5100 - Special Events										
30617 - Sam's Club / Synchrony Bank	2020-00001167	Halloween Supplies	Paid by Check		11/05/2020	11/05/2020	11/05/2020		11/11/2020	481.48
			# 56180							
Account 5100 - Special Events Totals										\$481.48
4024 - AT & T	708749087110-	Sep. 11 - Oct. 10 2020	Paid by Check		10/27/2020	10/27/2020	10/27/2020		10/29/2020	64.11
			# 56055							
Account 5215 - Telephone										
4										



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Vendor Fund 100 - General Fund</b> Department 32 - Recreation Account 5215 - Telephone										
4024 - AT & T	708788155010-3	Sep. 17- Oct. 16 2020	Paid by Check # 56055		10/27/2020	10/27/2020			10/29/2020	63.42
4024 - AT & T	70878823410-3	Sep. 17- Oct. 16 2020	Paid by Check # 56055		10/27/2020	10/27/2020			10/29/2020	63.46
4024 - AT & T	708788265710-3	Sep. 17- Oct. 16 2020	Paid by Check # 56055		10/27/2020	10/27/2020			10/29/2020	678.24
302 - Sprint	380311334-093	Sep. 15 - Oct. 14 2020	Paid by Check # 56075		10/27/2020	10/27/2020			10/29/2020	574.90
Account 5225 - Supplies Invoice Transactions 5 <b>\$1,444.13</b>										
415 - Santo Sport Store	101258	16 in Softballs	Paid by Check # 56073		10/27/2020	10/27/2020			10/29/2020	387.00
Account 5225 - Supplies Totals Invoice Transactions 1 <b>\$387.00</b>										
75 - Empire Cooler Service, Inc.	0000363639	Ice Machine Rental	Paid by Check # 56064		10/27/2020	10/27/2020			10/29/2020	92.00
1692 - M. K. Sports	OCTOBER2020	Umptires for Fall Adult Soft Ball	Paid by Check # 56158		11/05/2020	11/05/2020			11/11/2020	2,511.00
Account 5290 - Other General Expenses Totals Invoice Transactions 2 <b>\$2,603.00</b>										
101 - Schultz Supply Company, Inc.	347546	Trash Can Liners	Paid by Check # 56074		10/27/2020	10/27/2020			10/29/2020	99.80
514 - Berwyn Western Plumbing & Heating	2020-00001166	B&G BASE PUMP	Paid by Check # 56104		11/05/2020	11/05/2020			11/11/2020	4,880.00
1013 - Horizon Screen Print	20-2285	Staff Sweatshirts	Paid by Check # 56141		11/05/2020	11/05/2020			11/11/2020	327.00
Account 5400 - Repairs & Maintenance Totals Invoice Transactions 3 <b>\$5,306.80</b>										
Department 46 - Senior Citizen Program Account 5215 - Telephone Invoice Transactions 12 <b>\$10,222.41</b>										
6126 - Verizon	9865745314	Sep. 26- Oct. 25 2020	Paid by Check # 56197		11/05/2020	11/05/2020			11/11/2020	574.93
Account 5215 - Telephone Totals Invoice Transactions 1 <b>\$574.93</b>										
361 - Bus & Truck of Chicago, Inc.	26488	Vehicle Repairs	Paid by Check # 56107		11/05/2020	11/05/2020			11/11/2020	297.20
Account 5400 - Repairs & Maintenance Totals Invoice Transactions 1 <b>\$297.20</b>										
Account 5400-04 - Repairs & Maintenance Landscape Invoice Transactions 1 <b>\$297.20</b>										
294 - B. Davids Landscaping	OCTOBER2020-4	Senior Lawncaare	Paid by Check # 56098		11/05/2020	11/05/2020			11/11/2020	1,260.00
294 - B. Davids Landscaping	NOVEMBER2020-0	Senior Lawncaare	Paid by Check # 56098		11/05/2020	11/05/2020			11/11/2020	100.00



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 46 - Senior Citizen Program										
Account 5400-04 - Repairs & Maintenance Landscape										
2932 - Richard C. Dahms	OCTOBER2020-4	Senior Lawncare	Paid by Check # 56177		11/05/2020	11/05/2020	11/05/2020		11/11/2020	1,110.00
			Account 5400-04 - Repairs & Maintenance Landscape Totals							<u>\$2,470.00</u>
96 - PACE Suburban Bus	583128	1 Van @100 each	Paid by Check # 56165		11/05/2020	11/05/2020	11/05/2020		11/11/2020	100.00
96 - PACE Suburban Bus	583129	1 Van @100 each	Paid by Check # 56165		11/05/2020	11/05/2020	11/05/2020		11/11/2020	100.00
96 - PACE Suburban Bus	583130	1 Van @100 each	Paid by Check # 56165		11/05/2020	11/05/2020	11/05/2020		11/11/2020	100.00
96 - PACE Suburban Bus	583131	1 Van @100 each	Paid by Check # 56165		11/05/2020	11/05/2020	11/05/2020		11/11/2020	100.00
96 - PACE Suburban Bus	583132	1 Van @100 each	Paid by Check # 56165		11/05/2020	11/05/2020	11/05/2020		11/11/2020	100.00
96 - PACE Suburban Bus	583133	1 Van @100 each	Paid by Check # 56165		11/05/2020	11/05/2020	11/05/2020		11/11/2020	100.00
			Account 5505 - Equipment Lease Totals							<u>\$600.00</u>
			Department 46 - Senior Citizen Program Totals							<u>\$3,942.13</u>
			Fund 100 - General Fund Totals							<u>\$1,330,356.11</u>
Fund 205 - Library Fund										
Department 40 - Library										
Account 5105-07 - Community Programs Adult/Children Programs										
5868 - Ann Rinderer	8695	Community Programs Adult/Children	Paid by Check # 56093		11/04/2020	11/04/2020	11/04/2020		11/11/2020	900.00
828 - SYNCB / AMAZON	2020-00001157	Books Per Capita Programs	Paid by Check # 56188		11/04/2020	11/04/2020	11/04/2020		11/11/2020	801.04
			Account 5105-07 - Community Programs Adult/Children Programs Totals							<u>\$1,701.04</u>
5868 - Ann Rinderer	8694	Community Programs Other Grants	Paid by Check # 56093		11/04/2020	11/04/2020	11/04/2020		11/11/2020	750.00
			Account 5105-82 - Community Programs Other Grants Totals							<u>\$750.00</u>
4024 - AT & T	708795579410-4	Telephone	Paid by Check # 56095		11/04/2020	11/04/2020	11/04/2020		11/11/2020	54.82
4024 - AT & T	708795808210-3	Telephone	Paid by Check # 56095		11/04/2020	11/04/2020	11/04/2020		11/11/2020	1,208.24
			Account 5215 - Telephone Totals							<u>\$1,263.06</u>



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Vendor Fund 205 - Library Fund Department 40 - Library										
Account 5225 - Supplies										
388 - Demco Educational Corporation	6855206	Supplies	Paid by Check # 56121		11/04/2020	11/04/2020	11/04/2020		11/11/2020	122.57
388 - Demco Educational Corporation	6855630	Supplies	Paid by Check # 56121		11/04/2020	11/04/2020	11/04/2020		11/11/2020	199.09
492 - Fullmer Locksmith Service, Inc.	N25871	Supplies	Paid by Check # 56133		11/04/2020	11/04/2020	11/04/2020		11/11/2020	18.00
1498 - Home Depot Credit Services	9292742	Supplies	Paid by Check # 56140		11/04/2020	11/04/2020	11/04/2020		11/11/2020	19.96
132 - Quill Corporation	11642884	Supplies	Paid by Check # 56175		11/04/2020	11/04/2020	11/04/2020		11/11/2020	219.01
828 - SYNCB / AMAZON	2020-00001157	Books Per Capita	Paid by Check # 56188		11/04/2020	11/04/2020	11/04/2020		11/11/2020	597.64
391 - Tele-Tron Ace Hardware	090883	Supplies	Paid by Check # 56191		11/04/2020	11/04/2020	11/04/2020		11/11/2020	6.99
Account 5225 - Supplies Other Grants										
828 - SYNCB / AMAZON	2020-00001157	Books Per Capita	Paid by Check # 56188		11/04/2020	11/04/2020	11/04/2020		11/11/2020	238.78
Account 5225-82 - Supplies Other Grants Totals										
										<b>\$1,183.26</b>
Account 5245 - Books										
531 - Baker & Taylor Entertainment, Inc.	2035532997	Books	Paid by Check # 56099		11/04/2020	11/04/2020	11/04/2020		11/11/2020	318.09
398 - Ingram Library Services LLC	48862948	Books	Paid by Check # 56143		11/04/2020	11/04/2020	11/04/2020		11/11/2020	2,882.26
6003 - Kanopy Inc.	KDEP-7361	Books computer database	Paid by Check # 56149		11/04/2020	11/04/2020	11/04/2020		11/11/2020	2,500.00
4925 - Lectorum Publications Inc.	851267	Books	Paid by Check # 56155		11/04/2020	11/04/2020	11/04/2020		11/11/2020	84.89
828 - SYNCB / AMAZON	2020-00001157	Books Per Capita	Paid by Check # 56188		11/04/2020	11/04/2020	11/04/2020		11/11/2020	293.23
Account 5245 - Books Totals										
										<b>\$6,078.47</b>
Account 5245-80 - Books Per Capita										
3599 - First Book	700336451	Books Per Capita	Paid by Check # 56129		11/04/2020	11/04/2020	11/04/2020		11/11/2020	330.00
828 - SYNCB / AMAZON	2020-00001157	Books Per Capita	Paid by Check # 56188		11/04/2020	11/04/2020	11/04/2020		11/11/2020	2,564.18
Account 5245-80 - Books Per Capita Totals										
										<b>\$2,894.18</b>
Account 5250 - Audio Visual										
1545 - Blackstone Publishing	1184930	Audio Visual	Paid by Check # 56105		11/04/2020	11/04/2020	11/04/2020		11/11/2020	96.82
1545 - Blackstone Publishing	1183204	Audio Visual	Paid by Check # 56105		11/04/2020	11/04/2020	11/04/2020		11/11/2020	196.32





# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 205 - Library Fund Department 40 - Library Account 5250 - Audio Visual										
30520 - Midwest Tape	99481374	Audio Visual	Paid by Check # 56161		11/04/2020	11/04/2020	11/04/2020		11/11/2020	804.72
828 - SYNCB / AMAZON	2020-00001157	Books Per Capita	Paid by Check # 56188		11/04/2020	11/04/2020	11/04/2020		11/11/2020	8.49
Account 5400 - Repairs & Maintenance										
6099 - A&M Commercial Cleaning LLC	INV0025	Contract Maintenance	Paid by Check # 56089		11/04/2020	11/04/2020	11/04/2020		11/11/2020	624.00
2696 - Chicago Metropolitan Fire Prevention Company	IN00344483	Contract Maintenance	Paid by Check # 56110		11/04/2020	11/04/2020	11/04/2020		11/11/2020	108.75
1492 - Complete Temperature Systems, Inc.	SRVCE043854	Repairs & Maintenance	Paid by Check # 56116		11/04/2020	11/04/2020	11/04/2020		11/11/2020	502.00
4851 - Forest Security	109184	Contract Maintenance	Paid by Check # 56130		11/04/2020	11/04/2020	11/04/2020		11/11/2020	25.00
Account 5400 - Repairs & Maintenance Totals										
										<u>\$1,259.75</u>
828 - SYNCB / AMAZON	2020-00001157	Books Per Capita	Paid by Check # 56188		11/04/2020	11/04/2020	11/04/2020		11/11/2020	76.85
Account 5660 - Promotions										
5949 - Hallett & Sons Expert Movers, Inc	61694	Capital Outlay	Paid by Check # 56137		11/04/2020	11/04/2020	11/04/2020		11/11/2020	15,950.00
Account 5660 - Promotions Totals										
										<u>\$76.85</u>
Account 5800 - Capital Outlay Totals										
										<u>\$15,950.00</u>
Fund 205 - Library Fund										
Department 40 - Library Totals										
										<u>\$32,501.74</u>
Fund 205 - Library Fund Totals										
										<u>\$32,501.74</u>
Account 5205 - Utilities										
61 - ComEd	2020-00001158	electric	Paid by Check # 56115		11/04/2020	11/04/2020	11/04/2020		11/11/2020	31.53
61 - ComEd	2020-00001159	electric	Paid by Check # 56115		11/04/2020	11/04/2020	11/04/2020		11/11/2020	218.11
61 - ComEd	2020-00001160	electric	Paid by Check # 56115		11/04/2020	11/04/2020	11/04/2020		11/11/2020	9,837.88
5801 - Direct Energy Business	2029700437060	electric	Paid by Check # 56123		11/04/2020	11/04/2020	11/04/2020		11/11/2020	125.59
5801 - Direct Energy Business	2029700437060	electric	Paid by Check # 56123		11/04/2020	11/04/2020	11/04/2020		11/11/2020	445.90
5801 - Direct Energy Business	2029700437060	electric	Paid by Check # 56123		11/04/2020	11/04/2020	11/04/2020		11/11/2020	101.22
5801 - Direct Energy Business	2030200437443	electric	Paid by Check # 56123		11/04/2020	11/04/2020	11/04/2020		11/11/2020	690.43



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 215 - Motor Fuel Tax Fund										
Account 5205 - Utilities										
5801 - Direct Energy Business	2030200437443	october 2020 electric	Paid by Check		11/04/2020	11/04/2020			11/11/2020	117.60
	79		# 56123							
5801 - Direct Energy Business	2030000437179	october 2020 electric	Paid by Check		11/04/2020	11/04/2020			11/11/2020	78.46
	53		# 56123							
				Account 5205 - Utilities Totals						<b>\$11,646.72</b>
3047 - H & H Electric Company		Account 5400-03 - Repairs & Maintenance Traffic control	Paid by Check		11/04/2020	11/04/2020			11/11/2020	2,155.81
	35678	non-routine maint.	# 56136							
3047 - H & H Electric Company			Paid by Check		11/04/2020	11/04/2020			11/11/2020	1,164.26
	35682	non-routine maint.	# 56136							
3047 - H & H Electric Company			Paid by Check		11/04/2020	11/04/2020			11/11/2020	538.62
	35679	non-routine maint.	# 56136							
3047 - H & H Electric Company			Paid by Check		11/04/2020	11/04/2020			11/11/2020	2,727.89
	35683	non-routine maint.	# 56136							
3047 - H & H Electric Company			Paid by Check		11/04/2020	11/04/2020			11/11/2020	1,551.16
	35685-R1	non-routine maint.	# 56136							
3047 - H & H Electric Company			Paid by Check		11/04/2020	11/04/2020			11/11/2020	2,307.19
	35680	non-routine maint.	# 56136							
3047 - H & H Electric Company			Paid by Check		11/04/2020	11/04/2020			11/11/2020	141.77
	35684	non-routine maint.	# 56136							
3047 - H & H Electric Company			Paid by Check		11/04/2020	11/04/2020			11/11/2020	2,329.78
	35681	non-routine maint.	# 56136							
				Account 5400-03 - Repairs & Maintenance Traffic control Totals						<b>\$12,916.48</b>
Fund 220 - South Berwyn Corridor TIF Fund										
Account 5800 - Capital Outlay										
1153 - Clearchannel Outdoor	25133551	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check		10/27/2020	10/27/2020			10/29/2020	2,996.00
			# 56060							
6153 - Growing Community Media, NFP	4919-M	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check		10/27/2020	10/27/2020			10/29/2020	666.67
			# 56067							
774 - Chicago Tribune	025924147000	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check		11/05/2020	11/05/2020			11/11/2020	1,000.00
			# 56111							
2021 - Del Galdo Law Group, LLC	25154	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check		11/05/2020	11/05/2020			11/11/2020	2,640.00
			# 56119							
				Account 5800 - Capital Outlay Totals						<b>\$7,302.67</b>
				Fund 220 - South Berwyn Corridor TIF Fund Totals						<b>\$7,302.67</b>



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 223 - Harlem Avenue TIF Fund										
Account 5800 - Capital Outlay										
1153 - Clearchannel Outdoor	25133551	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check # 56060		10/27/2020	10/27/2020			10/29/2020	2,996.00
6153 - Growing Community Media, NFP	4919-M	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check # 56067		10/27/2020	10/27/2020			10/29/2020	666.66
774 - Chicago Tribune	025924147000	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check # 56111		11/05/2020	11/05/2020			11/11/2020	1,000.00
2021 - Del Galdo Law Group, LLC	25154	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check # 56119		11/05/2020	11/05/2020			11/11/2020	247.50
Fund 230 - Roosevelt Road TIF Fund										
Account 5705 - Interest Expense										
78 - Berwyn Development Corporation	1011	Interest	Paid by Check # 56057		10/27/2020	10/27/2020			10/29/2020	1,250.00
1153 - Clearchannel Outdoor	25133551	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check # 56060		10/27/2020	10/27/2020			10/29/2020	2,996.00
6153 - Growing Community Media, NFP	4919-M	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check # 56067		10/27/2020	10/27/2020			10/29/2020	666.67
78 - Berwyn Development Corporation	2020.01	Roosevelt Road TIF Rd	Paid by Check # 56102		11/05/2020	11/05/2020			11/11/2020	360.00
774 - Chicago Tribune	025924147000	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check # 56111		11/05/2020	11/05/2020			11/11/2020	1,000.00
2021 - Del Galdo Law Group, LLC	25154	TIFS / S.Berwyn, Harlem, & Roosevelt Rd	Paid by Check # 56119		11/05/2020	11/05/2020			11/11/2020	999.30
Account 5800 - Capital Outlay Totals										Invoice Transactions 5
Fund 230 - Roosevelt Road TIF Fund Totals										Invoice Transactions 6
										<u>\$6,021.97</u>
										<u>\$7,271.97</u>



# Accounts Payable by G/L Distribution Report

Payment Date Range 10/29/20 - 11/11/20

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 245 - Asset Forfeiture Fund Department 20 - Police Department Account 5191-15 - State Law Enforcement Expenses										
5256 - Partners & Paws Veterinary Services	81674	K-9 Medical			11/04/2020	11/04/2020			11/11/2020	45.00
			Paid by Check # 56167							
			Account 5191-15 - State Law Enforcement Expenses Totals							\$45.00
			Department 20 - Police Department Totals							\$45.00
			Fund 245 - Asset Forfeiture Fund Totals							\$45.00
Fund 500 - Utilities Fund Department 44 - Water & Sewer Account 5205 - Utilities										
5801 - Direct Energy Business	2030100437349	october 2020 electric			11/04/2020	11/04/2020			11/11/2020	32.65
			Paid by Check # 56123							
			Account 5205 - Utilities Totals							\$32.65
4858 - AT&T Global Services, Inc.	708788456910-	october 2020 phone bill			11/04/2020	11/04/2020			11/11/2020	1,237.32
			Paid by Check # 56097							
6126 - Verizon	9865745312	october 2020 phone bill			11/04/2020	11/04/2020			11/11/2020	342.22
			Paid by Check # 56197							
			Account 5215 - Telephone Totals							\$1,579.54
			Account 5300 - Professional Services							
6154 - Project Management Advisors, Inc	0027476	engineering services			11/04/2020	11/04/2020			11/11/2020	15,639.69
			Paid by Check # 56173							
1751 - Suburban Laboratories, Inc.	181913	water testing			11/04/2020	11/04/2020			11/11/2020	1,700.00
			Paid by Check # 56187							
3372 - USJC Locating Services, Inc.	405413	october 2020 locating			11/04/2020	11/04/2020			11/11/2020	9,757.34
			Paid by Check # 56196							
			Account 5300 - Professional Services Totals							\$27,097.03
4907 - Building Services of America, LLC	67164	supplies			11/04/2020	11/04/2020			11/11/2020	1,631.75
			Paid by Check # 56106							
			Account 5400 - Repairs & Maintenance Totals							\$1,631.75
			Department 44 - Water & Sewer Totals							\$30,340.97
			Fund 500 - Utilities Fund Totals							\$30,340.97
Fund 550 - Parking Garage Fund Account 5205 - Utilities										
5801 - Direct Energy Business	2030000437179	october 2020 electric			11/04/2020	11/04/2020			11/11/2020	1,094.17
			Paid by Check # 56123							
			Account 5205 - Utilities Totals							\$1,094.17
			Fund 550 - Parking Garage Fund Totals							\$1,094.17
			Grand Totals							\$1,438,385.99

**Robert J. Lovero**  
Mayor



**Charles D. Lazzara**  
Building Director

K-3

**A Century of Progress with Pride**

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-1427  
www.berwyn-il.gov

November 2, 2020

Honorable Robert J. Lovero  
Mayor of the City of Berwyn  
Members of City Council

Re: Building and Local Improvement Permits

Gentlemen:

Attached are the financial report of Building and Local Improvement Permits issued by the City of Berwyn for the month of October 2020, along with a copy of Permit Statistics for this same period.

Respectfully,

Charles D. Lazzara  
Building Director

A handwritten signature in black ink, appearing to read "Charles D. Lazzara", is written over the typed name and title.

# Report Of Building Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	Issued	Permit No.	Improvements	Cost Of Permit
Luis Centeno 1228 S. Scoville Avenue	10/30/2020	Bldg-B 9127-3	PAYING INSP FEES, PRELIMINARY FRAMING, PLUMB UNDERGROUND PVC HEAD TEST AND BEDDING, PLUMB FINAL, GAS PRESSURE TEST.	\$0.00 \$265.00
Asif Mohammed 2704 S. Euclid Avenue	10/14/2020	Bldg-B 9195-3	PAYING FOR ADDITIONAL ELECTRICAL FINAL INSPECTION.	\$0.00 \$50.00
Asif Mohammed 2704 S. Euclid Avenue	10/27/2020	Bldg-B 9195-4	PAYING FOR RESTORATION RE-INSPECTION.----- COMPLETE INTERIOR REMODEL - 1ST WILL HAVE KITCHEN, 1/2 BATH, 1 BEDROOM, LIVING ROOM AND DINING ROOM. 2ND WILL HAVE 3 NEW BEDROOMS AND 2 NEW BATHROOMS WITH WINDOWS TO EGRESS CODE. BASEMENT WILL BE FINISHED WITH	\$0.00 \$50.00
Asif Mohammed 2704 S. Euclid Avenue	10/28/2020	Bldg-B 9195-5	PAYING FOR PRE-POUR STREET/SDWLK----- COMPLETE INTERIOR REMODEL - 1ST WILL HAVE KITCHEN, 1/2 BATH, 1 BEDROOM, LIVING ROOM AND DINING ROOM. 2ND WILL HAVE 3 NEW BEDROOMS AND 2 NEW BATHROOMS WITH WINDOWS TO EGRESS CODE. BASEMENT WILL BE FINISHED WITH LAUN	\$0.00 \$50.00
BLACK GOLD PROPERTIES LP 1627 S. East Avenue	10/26/2020	Bldg-B 9291-1	PAYING FOR PLUMBING UNDERGROUND PVC INSTALLATION HEAD TEST AND BEDDING, GAS PRESSURE TEST AND CHLOROLY INSPECTION.	\$0.00 \$250.00
Vincent Santoyo 2302 S. Harvey Avenue	10/15/2020	Bldg-B 9316-3	ELECTRIC ROUGH RE-INSPECTION-----NEW DORMER & INTERIOR REMODEL : ARCH, HVAC, PLUMBING, ELECTRIC WORK AT EXIST. 2.0 STORY BRICK BUILDING W/T BMST (S.F.R.) AND REPAIR GARAGE. ON 1ST FL. ELIMINATE 1 BEDROOM TO MAKE STAIRWAY TO 2ND FL. .2ND FL. W/ 1 EX	\$0.00 \$50.00
Saul Zarco 6903 W. 26th Street	10/23/2020	Bldg-B 9344-1	PAYING FOR ATE PLUMBING INSPECTION----- DECONVERT BASEMENT KITCHEN RETURN ALL PLUMBING TO SOURCE AFTER THE FACT PERMIT FOR BASEMENT SHOWER ADDED TO POWDER ROOM	\$0.00 \$50.00
Benny Varga 3136 S. Ridgeland Avenue	10/13/2020	Gar-B 9401-2	DEMO AND REBUILD THE GARAGE 22X24X13(H).----- ELECTRICAL FINAL RE-INSPECTION	\$0.00 \$50.00
LANDON PROPERTIES GROUP 1849 S. Harvey Avenue	10/14/2020	Bldg-B 9406-1	PAYING FOR ADDITIONAL INSPECTION - PVC UNDERGROUND, PVC, BEDDING AND HEAD TEST, PLUMBING ROUGH FOR DRAIN TILE AND 2 FAILED PLUMBING FINAL REINSPECTION	\$0.00 \$250.00
LANDON PROPERTIES GROUP 1849 S. Harvey Avenue	10/22/2020	Bldg-B 9406-2	BUILDING FINAL REINSPECTION -- 2ND FLOOR ADDITION WITH 2 NEW BEDROOMS, 1 NEW BATH, 1ST FLOOR KITCHEN, LIVING ROOM, DINING ROOM, 2 EXISTING BED, 1 EXISTING FULL BATH, ADDING NEW 1/2 BATH BASEMENT FINISHED WITH EXISTING BATH, NEW BEDROOM, LAUNDRY, MECHANICAL	\$0.00 \$65.00



# Report Of Building Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address	Between: 10/1/2020	And 10/31/2020	Issued	Permit No.	Improvements	Cost Of Permit	Cost Of
Mr. Acevedo 2305 S. Ridgeland Avenue			10/27/2020	Bldg-B 9418-1	\$0.00	\$65.00	
Merriment Homes 1216 S. Wesley Avenue			10/13/2020	Bldg-B 9458-1	\$0.00	\$50.00	
Mohammed F. Hussain 2308 S. Gunderson Avenue			10/19/2020	Bldg-B 9461-2	\$0.00	\$50.00	
EPG Chicago JV II LLC 2304 S. Kenilworth Avenue			10/2/2020	Bldg-B 9462-2	\$0.00	\$100.00	
Ko Real Estate and Remodeling 1316 S. Elmwood Avenue			10/13/2020	Bldg-B 9468-2	\$0.00	\$100.00	
Branislava Radenkovic 2516 S. Gunderson Avenue			10/22/2020	Bldg-B 9519-1	\$0.00	\$50.00	
Geri Lynn Estvanik & Julie M. Cia 1427 S. Maple Avenue			10/20/2020	Bldg-B 9542-1	\$0.00	\$65.00	
Berwyn Gateway Partners II, LLC 7044 W. Cermak Road			10/27/2020	Bldg-B 9565-1	\$0.00	\$140.00	
Gilberto & Sunny Garcia 3721 S. Harvey Avenue			10/22/2020	Bldg-B 9606-0	\$2,000.00	\$25.00	

# Report Of Building Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/11/2020 And 10/31/2020

Name and Address	Issued	Permit No.	Improvements	Cost Of Permit
Sergio Chavarin & Walter A. Gon 2422 S. Cuyler Avenue	10/7/2020	Bldg-B 9607-0	\$3,500.00	\$755.00
<p>DECONVERT ATTIC KITCHEN - CAP ALL PIPES BACK TO THE SOURCE &amp; REPAIR WALL. CONVERT STORAGE ROOM IN THE BSMT TO A BEDROOM. ADDING A HEAT SOURCE &amp; INSTALL EHRESS WINDOWS TO CODE. ATF INSTALL OF BSMT 3/4 BATHROOM. INSTALL EXHAUST, BRING WINDOWS TO EGRESS COD</p>				
Michael Scioia 3714 S. Clarence Avenue	10/8/2020	Bldg-B 9608-0	\$0.00	\$735.00
<p>COMPLETE REMODEL OF THE 2 UNIT - 1ST FLOOR WILL CONSIST OF KITCHEN, DINING ROOM, LIVING ROOM, EXISTING FULL BATH, EXISTING 3/4 BATH AND 3 EXISTING BEDROOMS. GARDEN UNIT WILL CONSIST OF KITCHEN, DINING ROOM, LIVING ROOM, EXISTING FULL BATH AND 2 EXISTING B</p>				
MARTIN CALDERON 2348 S. Clinton Avenue	10/9/2020	Bldg-B 9609-0	\$6,000.00	\$400.00
<p>ATF FOR ATTIC BATHROOM. BRING PLUMBING AND ELECTRIC TO CODE. PROPERTLY DRAIN SHOWER, TOILET, SINK AND VENT. PATCH GARAGE FLOOR CONCRETE. REMOVE AND REPLACE 200AMP ELECTRICAL SERVICE. R/R BX WIRING IN BASEMENT, R/R 31 WINDOWS AND INSTALL WINDOWS TO EGRESS</p>				
Angela M. Garbino 2244 S. Wesley Avenue	10/9/2020	Bldg-B 9610-0	\$13,400.00	\$1,445.00
<p>CONVERT A BASEMENT BEDROOM INTO A 3/4 BATHROOM - INSTALL CEILING EXHAUST FAN- BASEMENT IS ALREADY FINISHED AND EGRESS WINDOWS EXIST PER GENERAL CONTRACTOR</p>				
Abraham Puidio 1608 S. Scoville Avenue	10/21/2020	Bldg-3 9611-0	\$10,150.00	\$175.00
<p>BOILERS TO FORCED AIR WITH NEW FURNACE. DUCTWORK AND A/C UNIT -- ROUGH &amp; FINAL HVAC INSPECTION WERE PAID ON PERMIT B-9579-0. ONLY PAYING FOR PERMIT FEES AND HYDRONIC DE CONVERSATION INSPECTION</p>				
Maria T. Del Rio 1505 S. Euclid Avenue	10/21/2020	Bldg-B 9612-0	\$10,000.00	\$785.00
<p>ATF OF BASEMENT REMODEL - BASEMENT IS FINISHED WITH 1 NEW FULL BATHROOM, 1 NEW BEDROOM, LAUNDRY ROOM, MECHANICAL ROOM AND OPEN RECREATIONAL SPACE - WINDOWS TO EGRESS CODE - DECONVERT BASEMENT KITCHEN, CAP ALL PIPES BACK AT THE SOURCE. -- ATF FOR ATTIC REM</p>				
Daniel Aguayo 2817 S. Ridgeland Avenue	10/26/2020	Gar-B 9613-0	\$13,000.00	\$300.00
<p>ADDING NEW 20X24 GARAGE WITH 16FT HEIGHT.</p>				
JUAN PINON 2621 S. Wesley Avenue	10/26/2020	Bldg-B 9614-0	\$30,000.00	\$1,140.00
<p>R/R BRICK AT FRONT OF HUSE TO CODE, COMPLIANCE VIOLATIONS, DEMO BASEMENT CEILING, NOT REPLACING, INSTALL NEW DRYWALL IN THE BASEMENT TO MAKE MAKE OPEN AREA, STORAGE ROOM, LAUNDRY AND MECHANICAL AREA WITH WINDOWS TO EGRESS CODE, DEMO A WALL COMPLETELY IN TH</p>				
Cindy Roman & Veronica Roman 2712 S. Highland Avenue	10/27/2020	Gar-B 9615-0	\$25,859.00	\$325.00
<p>DEMO &amp; REBUILD GARAGE 24' X 20' X 12.25'.</p>				
Erika I. Antilla 1416 S. Oak Park Avenue	10/27/2020	Gar-B 9616-0	\$25,942.00	\$325.00
<p>DEMO &amp; REBUILD GARAGE 22' X 24' X 12.58' (H).</p>				

# Report Of Building Permits Issued By The City Of Berwyn

Monday, November 2, 2020

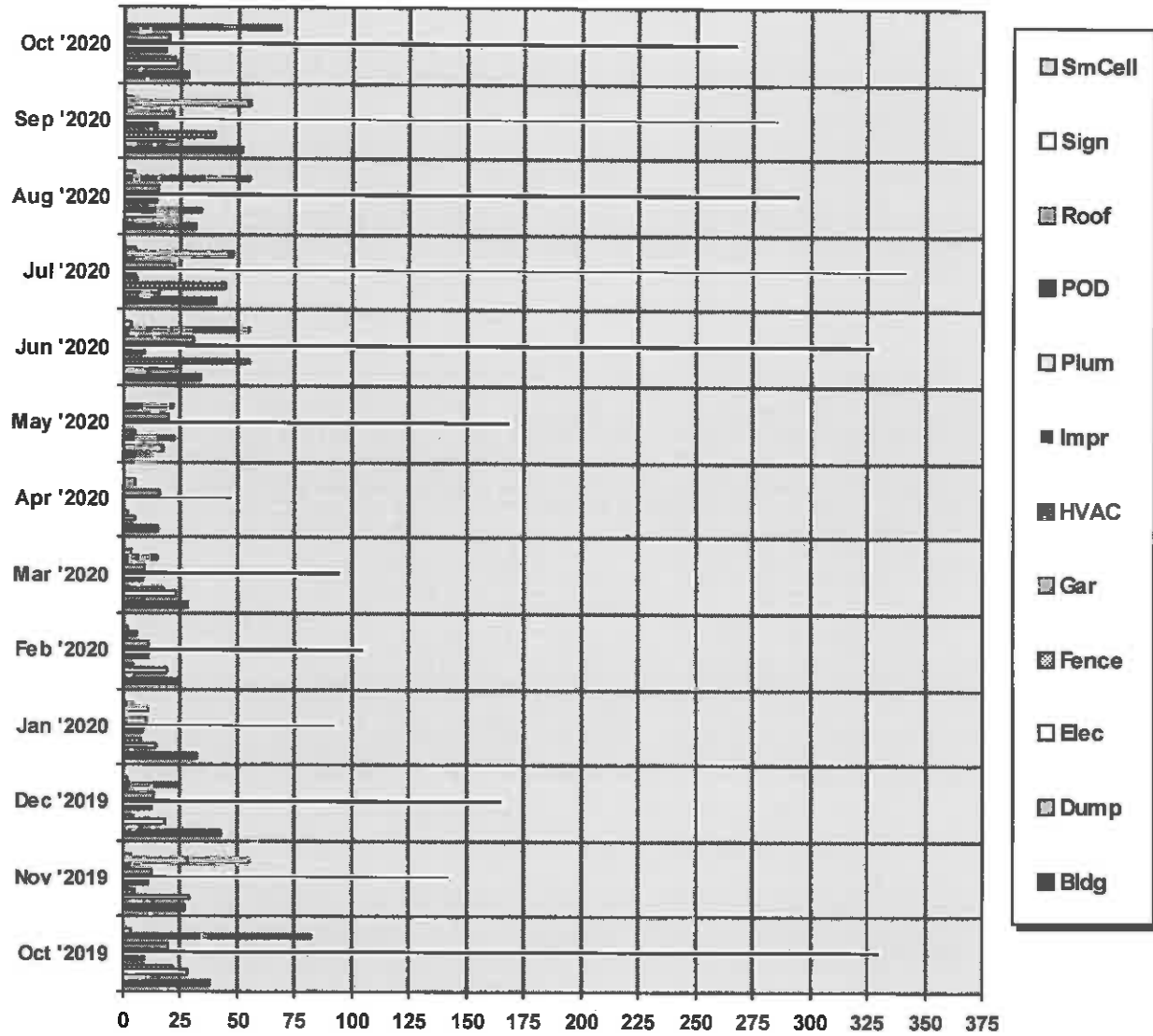
Between: 10/11/2020 And 10/31/2020

Name and Address	Issued	Permit No.	Improvements	Permit	Cost Of	Cost Of
Ann Marie & Rafaela Zayas 1533 S. Oak Park Avenue	10/28/2020	Bldg-B 9617-0	\$5,000.00	\$820.00		
DRYWALL BASEMENT TO INCLUDE NEW 3/4 BATH, WASHROOM IN BASEMENT, 2 RECREATIONAL ROOM, TOOL ROOM AND MECHANICAL ROOM AND LAUNDRY ROOM AND OPEN RECREATIONAL SPACE. UPGRADE METER TO 3/4						
My Property Holdings LLC - 6226 6236 W. Ogden Avenue	10/29/2020	Bldg-B 9618-0	\$2,150,000.00	\$34,270.00		
DEMOLITION OF THE REAR SOUTH PART OF THE BUILDING. ADDITION AND REMODEL FOR CRASH CHAMPION - 3 BATHROOM, MAIN OFFICE, CONFERENCE ROOM, LUNCH ROOM, WAITING AREA, SHOP AREA WITH PARTS OFFICE.						
D. Dauphin 1909 S. Scoville Avenue	10/29/2020	Gar-B 9619-0	\$17,000.00	\$300.00		
NO EXISTING GARAGE. POUR NEW CONCRETE SLAB FOR NEW GARAGE 22X24 14FT HEIGHT.						
Nathan J. Carreno & Gwendolyn 3809 S. Euclid Avenue	10/29/2020	Bldg-B 9620-0	\$300.00	\$335.00		
CREATE TWO NEW BEDROOMS IN THE ATTIC. INSTALL 2 NEW DOORS AND FLOORING. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.						
Ignacio Romero 2512 S. Kenilworth Avenue	10/29/2020	Gar-B 9621-0	\$18,750.00	\$325.00		
DEMO & REBUILD GARAGE 20' X 22' X 12.25' (H)						
<b>Totals . . . . .</b>			<b><u>\$2,330,901.00</u></b>	<b><u>\$44,210.00</u></b>		

# Permits Issued

Monday, November 2, 2020 9:25 AM

For Period Beginning 10/1/2019 And Ending 10/31/2020



## Permit Detail

Year	Month	Permit Type	Count
2020	October	Bldg	28
2020	October	Dump	9
2020	October	Elec	23
2020	October	Fence	22
2020	October	Gar	6
2020	October	HVAC	18
2020	October	Impr	268
2020	October	Plum	20
2020	October	POD	2
2020	October	Roof	68
2020	October	Sign	1

465

Year	Month	Permit Type	Count
2020	September	Bldg	52
2020	September	Dump	17
2020	September	Elec	23
2020	September	Fence	39
2020	September	Gar	14
2020	September	HVAC	14
2020	September	Impr	286
2020	September	Plum	21
2020	September	POD	3
2020	September	Roof	55
2020	September	Sign	5

529

**Permit Detail**

2020	August	Bldg	31
		Dump	23
		Elec	18
		Fence	34
		Gar	10
		HVAC	14
		Impr	295
		Plum	15
		POD	1
		Roof	55
		Sign	4

500

2020	July	Bldg	40
		Dump	15
		Elec	16
		Fence	44
		Gar	6
		HVAC	5
		Impr	342
		Plum	22
		POD	4
		Roof	48
		Sign	5

547

2020	June	Bldg	34
		Dump	11
		Elec	23
		Fence	55
		Gar	7
		HVAC	9
		Impr	328
		Plum	30
		POD	2
		Roof	55
		Sign	3
		SmCell	1

558

2020	May	Bldg	12
		Dump	17
		Elec	8
		Fence	22
		Gar	5
		Impr	169
		Plum	20
		Roof	21
		Sign	1

275

2020	April	Bldg	15
		Dump	3
		Elec	5
		Fence	2
		Impr	48
		Plum	16
		Roof	5
		Sign	1

95

2020	March	Bldg	28
		Dump	9
		Elec	23
		Fence	17
		HVAC	8
		Impr	95
		Plum	9
		POD	2
		Roof	15
		Sign	3

209

2020	February	Bldg	25
		Dump	5
		Elec	19
		Fence	4
		Gar	1
		HVAC	11
		Impr	105
		Plum	11
		POD	2
		Roof	6
		Sign	2
		SmCell	1

192

2020	January	Bldg	32
		Dump	10
		Elec	14
		Fence	7
		HVAC	8
		Impr	93
		Plum	10
		POD	1
		Roof	11
		Sign	4

190

2019	December	Bldg	43
		Dump	8
		Elec	18
		Fence	4
		Gar	1
		HVAC	12
		Impr	166
		Plum	13
		POD	2
		Roof	24
		Sign	2
		SmCell	1

294

2019	November	Bldg	27
		Dump	13
		Elec	29
		Fence	5
		Gar	2
		HVAC	11
		Impr	143
		Plum	12
		POD	3
		Roof	55
		Sign	3

303

2019	October	Bldg	38
		Dump	16
		Elec	28
		Fence	21
		Gar	8
		HVAC	9
		Impr	331
		Plum	20
		POD	1
		Roof	82
		Sign	3

557

*Permit Detail*

**Total Permits Issued      4714**



# Permits Issued By The Building Department

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

<u>Building</u>	Permits Issued: 28	Cost of Improvements: \$2,230,350.00
<u>Dumpster</u>	Permits Issued: 9	Cost of Improvements: \$0.00
<u>Electrical</u>	Permits Issued: 23	Cost of Improvements: \$109,620.00
<u>Fence</u>	Permits Issued: 22	Cost of Improvements: \$66,186.00
<u>Garage</u>	Permits Issued: 6	Cost of Improvements: \$100,551.00
<u>HVAC</u>	Permits Issued: 18	Cost of Improvements: \$95,921.00
<u>Local Improvement</u>	Permits Issued: 268	Cost of Improvements: \$1,972,204.55
<u>Plumbing</u>	Permits Issued: 20	Cost of Improvements: \$149,336.67
<u>POD</u>	Permits Issued: 2	Cost of Improvements: \$0.00
<u>Roofing</u>	Permits Issued: 68	Cost of Improvements: \$568,740.51
<u>Sign</u>	Permits Issued: 1	Cost of Improvements: \$3,000.00
	<b>Total Permits: 465</b>	<b>Total Improvements: \$5,295,909.73</b>

## Fees Collected

Building Permit Fee	\$33,790.00
Permit Final	\$6,425.00
Chimney Liner Rough	\$300.00

# Permits Issued By The Building Department

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Chimney Liner Final	\$300.00
Gutter/Downspout Final Inspection	\$350.00
Masonry Final Inspection	\$1,575.00
Local Improvement Permit Fee	\$26,570.00
Electrical Rough	\$2,350.00
Electrical Above Ceiling Inspection	\$100.00
Electrical Permit Fees	\$2,275.00
Preliminary Electric	\$100.00
Electrical Underground	\$350.00
Electrical Service	\$200.00
Electrical Final	\$4,750.00
Sign Permit Fees	\$55.00
Footing Inspection	\$280.00
Preliminary Framing	\$260.00
Framing Rough	\$2,460.00
Fence Permit Fee	\$775.00
Foundation Inspection	\$140.00
Plumbing Rough	\$2,400.00
Plumbing Permit Fees	\$2,155.00
Hydronic Deconversion	\$150.00
Plumbing Final	\$3,100.00
Preliminary Plumbing	\$100.00
Plumbing Inspection Underground	\$1,550.00
ATF Plumbing	\$50.00
Plumbing Underground-Tap	\$150.00
Plumbing Underground-Service	\$250.00
Plumbing Underground-Divorce	\$250.00
Plumbing Underground-PVC Installation	\$350.00
Plumbing Underground-Bedding Inspection	\$500.00
Plumbing Underground-Head Test	\$500.00
Chlorooy Inspection	\$100.00
Post Hole/Pier Inspection	\$1,550.00
RPZ Test/DDCA Valve	\$150.00
Plumb Insp Deconvert Kitch/Bath	\$200.00
HVAC Above Ceiling	\$405.00
HVAC Permit Fees	\$1,290.00
HVAC Rough	\$920.00
Service Charge	\$1,620.00
HVAC Final	\$2,290.00
Insulation/Fire Stopping Inspection	\$1,335.00

# Permits Issued By The Building Department

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Water Meter Upgrade Fee	\$1,275.00
Tap Fee	\$5,000.00
Demolition Fees	\$100.00
Dumpster/POD	\$1,000.00
Parkway Use	\$125.00
Parkway Inspection	\$250.00
Pre-Pour Inspection	\$1,920.00
Slab Pre-Pour	\$785.00
Stack Test	\$500.00
Sidewalk Opening	\$75.00
Pre-Pour Strt/Sdwk/Alley	\$400.00
Street Opening	\$450.00
Fine - Working Without Permit	\$300.00
Roof Covering Permit Fees	\$8,395.00
Roof Final Inspection	\$5,100.00
Siding Final Inspection	\$150.00
Garage Permit Fee	\$400.00
Gas Pressure Test	\$200.00
Water Pressure Test	\$50.00
Preliminary Fire Department	\$100.00
Rough Fire Department	\$100.00
Final Fire Department	\$150.00
ATF Fine	\$500.00
Lintel Inspection	\$530.00
Restoration Inspection	\$400.00
Miscellaneous Fees	\$100.00
<b>Total Fees Collected</b>	<b>\$133,125.00</b>

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
1 Jon & Elyse Fletcher 1916 S. Clinton Avenue	16-19-320-022-0000	R	10/1/2020 Impr-L	86731-1	\$0.00	\$50.00
ELECTRICAL FINAL AND ELECTRICAL SERVICE REINSPECTION - ROOFTOP PV INSTALLATION, SOLAR PANELS ON THE ROOF OF THE HOME. NEW METER SOCKET AND MOGUL,-----MUST HAVE TAP CONNECTORS						
2 Jose H. Hernandez 1305 S. Gunderson Avenue	16-19-214-003-0000	R	10/1/2020 Impr-L	87967-1	\$0.00	\$50.00
PLUMBING FINAL REINSPECTION -- RELOCATE 50 GALLON HOT WATER HEATER EXPANSION TANK AND RMEOVING EXISTING 3/4 GALVANIZED PIPE FROM GAS SYSTEM. INSTALLING BLACK PIPE						
3 Patricia Ernst 3314 S. East Avenue	16-31-224-038-0000	R	10/1/2020 Impr-L	88086-1	\$0.00	\$50.00
PAYING FOR ADDITIONAL PLUMBING UNDERGROUND INSPECTION						
4 Marcus & Emily Foster 1808 S. Harvey Avenue	16-20-310-018-0000	R	10/1/2020 Impr-L	88094-0	\$2,500.00	\$255.00
ATF FOR SUMP PUMP SYSTEM. REPLACE ANY MISSING ELECTRICAL OUTLETS/RECEPTACLES COVER-PLATES AS NEEDED. ENCLOSE OPEN BULB LIGHT FIXTURE INSIDE THE FURNACE ROOM W/ FULLY ENCLOSED BULB FIXTURE.						
5 D & Y Pagaduan 1606 S. Cuyler Avenue	16-20-300-022-0000	R	10/1/2020 Impr-L	88095-0	\$5,450.00	\$115.00
FURNACE REPLACEMENT. EXISTING DUCT WORK. RE-USE EXISTING CHIMNET LINER.						
6 Carmelo Santiago 2438 S. Kenilworth Avenue	16-30-110-025-0000	R	10/1/2020 Roof-L	88096-0	\$11,390.94	\$230.00
T/O & RE-ROOF HOUSE SHINGLE ROOF TO CODE. NO POWER VENTS ICE AND WATER SHIELD TO CODE						
7 Daniel Kill 3213 S. Cuyler Avenue	16-32-112-006-0000	R	10/1/2020 Roof-L	88097-0	\$3,900.00	\$125.00
RE-ROOF OVER EXISTING 1 LAYER W/ NEW SHINGLES ON THE HOUSE AND R/R EXISTING POWER VENT						
8 Michelle Mohr 3705 S. Oak Park Avenue	16-31-415-003-0000	R	10/1/2020 Impr-L	88098-0	\$1,738.00	\$90.00
R/R GUTTERS AND DOWNSPOUTS DOWNSPOUTS MUST DISBURSE ONTO PRIVATE PROPERTY.						
9 Judith N. Vessely 1633 S. East Avenue	16-19-404-015-0000	R	10/1/2020 Impr-L	88099-0	\$2,700.00	\$55.00
REPAIR 5 FOUNDATION CRACKS ON THE NORTH & SOUTH WALL.						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/11/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit
Senada Ribic & Admir Ribic		6611 W. 31st Street	16-30-418-038-0000	R/R 22 WINDOWS, LIVING ROOM (10), BEDROOM (7), HALLWAY (3), & KITCHEN (2). BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	R	10/1/2020 Impr-L	88100-0	\$5,000.00	\$135.00
Angelique Orr		1230 S. Harvey Avenue	16-20-102-030-0000	INSTALL A OVERHEAD SEWER.	R	10/1/2020 Plum-L	88101-0	\$12,681.45	\$150.00
Jean Meiko		3637 S. Maple Avenue	16-31-309-011-0000	INSTALL 14 LINEAR FT OF EXTERIOR SUB SOIL MEMBRANE ALING SOUTH DOUNDATION WALL.	R	10/1/2020 Impr-L	88102-0	\$5,645.00	\$100.00
Castillo & Estrada & Espejel		2344 S. Gunderson Avenue	16-30-213-033-0000	ATF - REMODEL OF SHOWER/TUB AND TILE, REMOVE CUT SECTION OF PIPE IN FLOOR OF 2ND FLOOR BATHROOM, INSTALL NEW NIPPLE WITH CAP, CUT GAS PIPE -- R/R SHOWER TILE --- NO ELECTRICAL WORK.	R	10/1/2020 Impr-L	88103-0	\$1,000.00	\$190.00
Ronald & Michelle Worrel		7112 W. 35th Street	16-31-301-005-0000	POD ON THE STREET. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.	R	10/1/2020 POD-L	88104-0	\$0.00	\$50.00
Richard Zeilhofer & Rima Pau		3111 S. Wisconsin Avenue	16-31-102-005-0000	REMOVE OLD FRONT PORCH WINDOWS AND INSTALL NEW WINDOWS, INSULATE ALL WINDOWS WITH SPRAY FOAM, CAP WINDOWS WITH ALUM. INSTALL NEW TYPVEK WRAP AND VINYL SIDING ON THE ENTIRE HOMSE.	R	10/1/2020 Impr-L	88105-0	\$2,000.00	\$360.00
Jorge C. Figueroa		1537 S. Harvey Avenue	16-20-126-016-0000	R/R NORTH SIDE FENCE W/5FT SOLID WOODEN FENCE.	R	10/1/2020 Fence-L	88106-0	\$500.00	\$135.00
Steve Wascher & Michelle Zie		3731 S. Home Avenue	16-31-320-013-0000	SERVICE IS BEING RELOCATED 10' FROM THE EXISTING LOCATION, NO NEW CIRCUIT ARE BEING ADDED. UPGRADES TO THE GROUNDING INCLUDED.	R	10/1/2020 Elec-L	88107-0	\$1,650.00	\$90.00
Jesus Vargas & Gloria Vargas		1643 S. Grove Avenue	16-19-307-018-0000	R/R REAR STAIRS TO CODE.	R	10/1/2020 Impr-L	88108-0	\$1,600.00	\$0.00
John & Rosemary Skach		6335 W. 26th Street	16-29-124-032-0000	T/O & RE-ROOF SHINGLE HOUSE ROOF. R/R VENTS.	R	10/1/2020 Roof-L	88109-0	\$3,800.00	\$125.00
L.E. Skopek		1821 S. Elmwood Avenue	16-19-415-007-0000	SPOT TUCKPOINT ENTIRE BUILDING CLEAN PEELING I-BEAM AND REPAINT	R	10/1/2020 Impr-L	88110-0	\$6,250.00	\$190.00

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between:	And	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit
Frank & Kathryn Roman	1924 S. Wisconsin Avenue	10/1/2020	10/31/2020	16-19-317-026-0000	R	10/1/2020 Impr-L	88111-0	\$5,450.00	\$175.00
				CHISEL OUT CRACK & LOOSE MORTAR ON ENTIRE BUILDING INCLUDED CHIMNEY & GARAGE. SPOT TUCKPOINT BUILDING, CHIMNEY, GARAGE. INSTALL STEEL HOOD ON CHIMNEY. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.					
21	Rafael Ramirez	3420 S. Clarence Avenue		16-31-232-020-0000	R	10/1/2020 Impr-L	88112-0	\$1,000.00	\$170.00
22	Juan A. Ortiz	2741 S. Harvey Avenue		16-29-311-018-0000	R	10/1/2020 Impr-L	88113-0	\$1,600.00	\$90.00
				R/R CONCRETE WALK FROM END OF HOUSE TO ALLEY & NEAR ALLEY APRON. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBORS OR CITY.					
23	Patriot Berwyn Associates, L.P	6804 W. Windsor Avenue		16-31-127-008-0000	C	10/1/2020 Impr-L	88114-0	\$23,500.00	\$370.00
				POWERWASH OUTSIDE OF BUILDING. NO HARMFUL CHEMICALS.					
24	Jose R & Vanessa Ibarra	3701 S. Wesley Avenue		16-31-417-001-0000	R	10/1/2020 Roof-L	88115-0	\$12,000.00	\$230.00
				T/O & RE-ROOF FLAT ROOF AT PROPERTY. FLASH ALL WALLS UNDER COPPING TILES W/MODIFIED MEMBRANE. INSTALL TWO AIR POWERED ROOFING VENTS. PAINT ROOF W/ ALUMINUM COATING.					
25	Patricia Ayala	2613 S. Wesley Avenue		16-30-402-011-0000	R	10/1/2020 Impr-L	88116-0	\$1,850.00	\$90.00
				R/R 11 WINDOWS, BSMT (5), 1ST FLR: LIVING ROOM (3), BEDROOM (2), & KITCHEN (1). BRING WINDOWS TO EGRESS CODE WHERE NEEDED.					
26	Karla Soriano	3218 S. East Avenue		16-31-218-037-0000	R	10/1/2020 Impr-L	88117-0	\$3,000.00	\$55.00
				TUCKPOINT CHIMNEY. WATER HEATERS REQUIRE EXPANSION TANKS.					
27	EPG Chicago JV III LLC	2304 S. Kenilworth Avenue		16-30-106-018-0000	R	10/2/2020 Bldg-B	9462-2	\$0.00	\$100.00
				PAYING FOR ADDITIONAL PLUMB UG HEAD AND BEDDING TEST.					
28	Gilberto & Sunny Garcia	3721 S. Harvey Avenue		16-32-319-024-0000	R	10/2/2020 Bldg-B	9606-0	\$2,000.00	\$25.00
				DEMO GARAGE AND POUR NEW SLAB 22X24', POUR NEW CONCRETE ON BOTH SIDES OF THE GARAGE - MUST BE 2-3" OFF THE LOT LINE. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBORS OR CITY.					
29									



# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/1/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit
RENE ROBLEDO & JULISSA		1537 S. Grove Avenue	16-19-131-018-0000	R/R NORTH CONCRETE WALK FROM END OF HOUSE TO ALLEY. R/R CONCRETE WALK FROM CITY WALK TO END OF HOUSE ON SOUTH SIDE OF PROPERTY. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBORS OR CITY.	R	10/2/2020 Impr-L	88118-0	\$3,960.00	\$120.00
Yoan & Edgar G. De La Cruz		1502 S. Scoville Avenue	16-19-228-019-0000	TEAR OFF AND RESHINGLE THE HOUSE AND GARAGE.	R	10/2/2020 Roof-L	88119-0	\$7,200.00	\$170.00
Patrick & Maureen Lee		1641 S. Clinton Avenue	16-19-305-021-0000	T/O & RE-ROOF GARAGE ROOF TO CODE. INSTALL 2 MUSHROOM VENTS.	R	10/2/2020 Roof-L	88120-0	\$1,650.00	\$50.00
Juan Chavez Vazquez & Juan		1512 S. Ridgeland Avenue	16-19-231-022-0000	TEAR OFF AND REROOF THE HOUSE WITH MOD BIT AND TEAR OFF AND RESHINGLE THE GARAGE.	R	10/2/2020 Roof-L	88121-0	\$26,995.22	\$455.00
Cindy Caputo		1929 S. East Avenue	16-19-420-011-0000	R/R BASEMENT WINDOW IN EXISTING OPENING. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	R	10/2/2020 Impr-L	88122-0	\$871.00	\$90.00
Loyola University Health System		3249 S. Oak Park Avenue	16-31-215-016-0000	WORK BEING DONE IN THE STREET ON 33RD & EUCLID. SAW CUT EXISTING PAVEMENT AND CURB. EXCAVATE DOWN TO EXISTING TUNNEL, REPAIR EXPANSION JOINT AT TUNNEL, BACKFILL WITH STONE, COMPACT STONE AND INSTALL PROPER ASPHALT PAVEMENT AND CONCRETE CURB.	C	10/2/2020 Impr-L	88123-0	\$57,200.00	\$980.00
Scott J Zimmerle & Asha Zimm		2406 S. Clarence Avenue	16-30-218-021-0000	REMOVE 3 FLEXIBLE GAS SUPPLY LINES AND REPLACE WITH 10 FT OF 3/4" BLACK PIPE GAS LINES.	R	10/2/2020 Plum-L	88124-0	\$2,850.00	\$105.00
Frank E. Kvasnicka & Beverly J		3421 S. Clinton Avenue	16-31-133-007-0000	BATHROOM REMODEL - EXHAUST FAN EXISTS.	R	10/2/2020 Impr-L	88125-0	\$11,500.00	\$555.00
Ronald Holakovsky		1522 S. Elmwood Avenue	16-19-230-025-0000	TEAR OFF AND RESHINGLE THE GARAGE - SISTER RAFTERS.	R	10/2/2020 Roof-L	88126-0	\$3,790.00	\$105.00
Yuri & Miriam Anleu		3707 S. Cuyler Avenue	16-32-317-003-0000	TEAR OFF AND RESHINGLE THE HOUSE AND GARAGE.	R	10/2/2020 Roof-L	88127-0	\$6,650.00	\$155.00

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #			Census Class	Permit Issued	Permit #	Improvements	Cost Of	Cost Of
								Permit	
MH CONCEPTS LLC	3820 S. Gunderson Avenue	16-31-423-060-0000	INTERIOR DEMO OF PROPERTY TO THE STUDS. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.	R	10/2/2020 Impr-L	88128-0	\$1,000.00	\$90.00	
40 Carol A. Kelly Trust	1641 S. Elmwood Avenue	16-19-407-048-0000	INSTALL UNDERGROUND SPRINKLER SYSTEM WITH 1" RPZ VALVE ON PRIVATE AND CITY PARKWAY. -- MUST INSTALL IRRIGATION IN A PVC SLEEVE UNDER THE CITY SIDEWALK.	R	10/2/2020 Impr-L	88129-0	\$5,647.00	\$325.00	
41 Roger J Harney Trust	2224 S. Gunderson Avenue	16-30-205-027-0000	TEAR OFF AND REROOF THE BUILDIG WITH MOD BIT.	R	10/2/2020 Roof-L	88130-0	\$10,000.00	\$200.00	
42 Basilia Cruz	1501 S. Highland Avenue	16-20-125-001-0000	R/R GUTTERS AND DOWNSPOUTS ON THE HOUSE. DOWNSPOUTS MUST DISBURSE ONTO PRIVATE PROPERTY.	R	10/2/2020 Impr-L	88131-0	\$1,000.00	\$90.00	
43 Jason T. Morris	2740 S. Cuyler Avenue	16-29-308-035-0000	TEAR OFF AND RESHINGLE THE GARAGE.	R	10/2/2020 Roof-L	88132-0	\$700.00	\$40.00	
44 Mindy Figueroa	1322 S. Elmwood Avenue	16-19-214-031-0000	TEAR OFF AND REROOF WITH MOD BIT, GRIND AND TUCKPOINT EAST WALL, NORTH AND SOUTH WALL GRIND AND TUCKPOINT.	R	10/2/2020 Impr-L	88133-0	\$16,320.00	\$465.00	
45 Carlos Moreno	1910 S. Harvey Avenue	16-20-323-022-0000	REPLACE MISSING LIGHT FIXTURE GLOBE COVERS. REPLACE HOT WATER TANK. REPAIR ELECTRICAL OUTLET & COVER PLATE IN 2ND FLR BEDROOM. R/R GARAGE SIDING. SEAL GAPS BETWEEN HVAC PVC PIPES & BRICK WALL (EXTERIOR)	R	10/2/2020 Impr-L	88134-0	\$900.00	\$190.00	
46 Julie Ann Caselli	1429 S. Maple Avenue	16-19-117-012-0000	REPAIR SEWER IN THE STREET. PROVIDE VIDEO TO BUILDING DEPARTMENT ONCE SEWER REPAIR IS COMPLETE	R	10/2/2020 Plum-L	88135-0	\$4,500.00	\$310.00	
47 RDB Properties LLC	6945 W. Stanley Avenue	16-31-112-027-0000	T/O & RE-ROOF FLAT ROOF TO CODE.	R	10/2/2020 Roof-L	88136-0	\$39,130.00	\$600.00	
48 Anthony John & Mariana E Sne	1341 S. Highland Avenue	16-20-109-014-0000	INSTALL A REGISTER IN THE BASEMENT BATHROOM, RUN DUCT WORK FROM THE FURNACE TO THE BASEMENT ROOM.	R	10/2/2020 Impr-L	88137-0	\$50.00	\$50.00	
49 Daniel & Fanny Weber	2439 S. Scoville Avenue	16-30-221-015-0000	INSTALL SIDING ON GARAGE.	R	10/2/2020 Impr-L	88138-0	\$2,500.00	\$55.00	
50									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit
Charmane Kuserper 2723 S. Harvey Avenue	16-29-311-010-0000	R	10/2/2020 Impr-L	88139-0	\$3,800.00	\$145.00
ON THE SOUTH SIDE OF THE BUILDING REMOVE INACTIVE CHIMNEY AND BRICK UP THE OPENING IN THE PARAPET WALL WHERE THE CHIMNEY WAS --						
Brian Laverne Brock & 2347 S. Oak Park Avenue	16-30-208-020-0000	R	10/2/2020 Impr-L	88140-0	\$14,450.00	\$360.00
TUCKPOINT, R/R WINGWALLS (2), & R/R CONCRETE STEPS ON SOUTH SIDE OF THE PROPERTY TO CODE.						
Adan Diaz & Emily Mercado 2232 S. Scoville Avenue	16-30-204-031-0000	R	10/5/2020 Impr-L	88141-0	\$15,500.00	\$390.00
R/R ALL LINTELS AT FRONT OF HOUSE. GRIND & TUCK POINT & PRESSURE WASH. R/R BAD BRICK ON BOTH SIDES OF HOUSE. REPAIR CHIMNEY. R/R BAD BRICKS AS NEEDED. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.						
Adan Diaz 2230 S. Scoville Avenue	16-30-204-030-0000	R	10/5/2020 Impr-L	88142-0	\$15,500.00	\$390.00
R/R ALL LINTELS AT FRONT OF HOUSE. GRIND & TUCK POINT & PRESSURE WASH. R/R BAD BRICK ON BOTH SIDES OF HOUSE. R/R BAD BRICKS ON BOTH NORTH & SOUTH ELEVATIONS. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.						
DEVYNN & ROSALIA CULLERS 3500 S. Cuyler Avenue	16-32-300-020-0000	R	10/5/2020 Fence-L	88143-0	\$1,600.00	\$135.00
INSTALL 5FT + 1FT OPEN LATTICE VINYL FENCE ON SOUTH SIDE OF PROPERTY. R/R & EXTEND NORTH SIDE FENCE (CORNER LOT) W/ NEW 6FT SOLID VINYL FENCE TO CODE. INSTALL 5FT + 1FT VINYL FENCE AT ALLEY USING OWN POSTS. JULIE DIG #A2790822						
Anthony Capua 3802 S. Kenilworth Avenue	16-31-329-015-0000	R	10/5/2020 Impr-L	88144-0	\$5,000.00	\$235.00
ATF - REPAIR/REPLACE BACK PORCH AND R/R NORTH SIDE FENCE FROM THE END OF THE HOUSE TO THE FRONT OF THE GARAGE WITH 5FT WOOD FENCE.						
Miriam Rodriguez Ponce 6248 W. 26th Street	16-29-302-001-0000	R	10/5/2020 Impr-L	88145-0	\$4,700.00	\$275.00
R/R 4 WINDOWS ON GARAGE. SPOT TUCK POINT GARAGE. R/R LINTEL OVER FROTN DOOR. PATCH CATCH BASIN.						
David Cardona & Gladalipe Mi 2111 S. Gunderson Avenue	16-19-430-004-0000	R	10/5/2020 Impr-L	88146-0	\$2,500.00	\$130.00
GRIND, WASH, & SPOT TUCK POINT FRONT OF BUILDING ONLY. SCAFFOLDING WILL BE USED. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Jorge & Maritza Mexquitic 1402 S. Clarence Avenue	16-19-218-023-0000	R	10/5/2020 Impr-L	88147-0	\$6,000.00	\$450.00
REMODEL THE KITCHEN, R/R CABINETS, COUNTERTOPS AND SINK. BRING ELECTRIC TO CODE. INSTALL CAN LIGHTS, DEMO AND REBUILD PANTRY.						
59 C. Campbell & A. Harris (T) 2415 S. Clarence Avenue	16-30-219-005-0000	R	10/5/2020 HVAC-L	88148-0	\$3,290.00	\$115.00
R/R FURNACE - CHIMNEY LINER EXISTS.						
60 Daniel Fitzenthaler 2228 S. Grove Avenue	16-30-103-031-0000	R	10/5/2020 Impr-L	88149-0	\$1,000.00	\$40.00
OWNER IS GOING TO REPAIR ROOF BY PEELING BACK THE SHINGLES AND REPAIRING THE FLASHING AND SHEATING, REPATCH THE GUTTER AND REPAIR THE SIDING BY THE BACK DOOR. -- MIKE BEIRNE TUCKPOING WILL GRIND OUT LOOSE AND CRACKED MORTAR ON 6-8 COURSES FROM THE GRADE A						
61 U.S. Bank, N.A. 6402 W. 18th Street	16-19-415-021-0000	R	10/5/2020 Plum-L	88150-0	\$15,600.00	\$2,650.00
INSTALL A NEW 2" WATER SERVICE - REUSING EXISTING 1 1/2 WATER METER						
62 Dagmar Kostal 1544 S. Wisconsin Avenue	16-19-125-039-0000	R	10/5/2020 Plum-L	88151-0	\$9,600.00	\$360.00
REPLACING GALVANIZED INTERIOR WATER PIPE WITH COPPER.						
63 RMAC LENDING, LLC 3141 S. Highland Avenue	16-32-108-008-0000	R	10/5/2020 Impr-L	88152-0	\$7,400.00	\$355.00
SEWER REPAIR IN THE STREET. CAMERA AND CLEAR SEWER LINES.						
64 Thomas Head 2225 S. Oak Park Avenue	16-30-200-023-0000	C	10/5/2020 Impr-L	88153-0	\$5,000.00	\$285.00
ATF REMODEL OF THE 2ND LEVEL BATHROOM. -- DECONVERT 1ST FLOOR AND BASEMENT BATHROOM. -- ALL PIPES MUST BE CAPPED BACK AT THE SOURCE.						
65 Juan L. Cervantes & Irene Gorn 1620 S. Wisconsin Avenue	16-19-301-025-0000	R	10/5/2020 Impr-L	88154-0	\$2,100.00	\$155.00
COMPLIANCE REPAIRS - REPAIR GFCI OUTLETS RIGHT SIDE OF KITCHEN SINK, OUTLET FAR LEFT SIDE OF THE KITCHEN SINK TO BE MADE GFCI PROTECTED, SECOND LEVEL BEDROOM MUST HAVE AN EGRESS WINDOW INSTALLED TO CODE. EXTEND DUCT VENT TO BASEMENT BATHROOM. BACK YARD E						
66 Tony Rosado & Norma Rosado 1507 S. Gunderson Avenue	16-19-230-003-0000	R	10/5/2020 Impr-L	88155-0	\$3,200.00	\$55.00
R/R 10 WINDOWS. DINING ROOM, LIVING ROOM, KITCHEN, & 2 BEDROOMS (1 WINDOW IN EACH). BRING WINDOWS TO EGRESS CODE WHERE NEEDED.						
67						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address

P.I.N. #

Census Class Permit Issued Permit # Improvements Permit Cost Of

Alfonso Raddi 3728 S. Kenilworth Avenue 16-31-321-027-0000 R/R FURNACE 80% EFFICIENCY. R/R AC UNIT W/ NEW 3 TON 13 SEER UNIT. AC CONDENSERS MUST BE LOCATED BEHIND THE HOUSE 3' FROM PROPERTY LOT LINE AND ELECTRICAL METER. R 10/5/2020 Impr-L 88156-0 \$5,000.00 \$190.00

68 Jose & Florence Tamayo 2510 S. Gunderson Avenue 16-30-229-017-0000 T/O & RESHINGLE THE HOUSE & GARAGE. INSTALL TWO NEW SKYLIGHTS. R 10/5/2020 Impr-L 88157-0 \$2,600.00 \$215.00

69 CHER GUERINO 1339 S. Kenilworth Avenue 16-19-114-023-0000 ATE FENCE. R/R FENCE ON THE NORTH & SOUTH SIDES OF THE PROPERTY. FENCES ARE 5FT SOLID VINYL. HAS PERMISSION FROM 1341 KEN. R 10/5/2020 Fence-L 88158-0 \$565.00 \$135.00

70 Blue Ladder, Inc. 1530 S. Euclid Avenue 16-19-224-036-0000 R/R FENCE ON NORTH & SOUTH SIDE W/ NEW 5FT + 1FT OPEN LATTICE VINYL FENCE W/ DOORS TO CODE. OWN POSTS. HAS NEIGHBOR PERMISSION FROM 1536 EUCLID. R 10/5/2020 Fence-L 88159-0 \$6,000.00 \$135.00

71 MARIO B. GARCIA 1322 S. Euclid Avenue 16-19-208-030-0000 T/O & RE-ROOF SHINGLE GARAGE ROOF. R 10/5/2020 Roof-L 88160-0 \$500.00 \$40.00

72 Alberto Lebron 2320 S. Gunderson Avenue 16-30-213-024-0000 R/R BOILER (1) AT PROPERTY R 10/5/2020 Impr-L 88161-0 \$6,198.00 \$200.00

73 Aaron & Dawn Kordelewski 6824 W. 29th Place 16-30-319-011-0000 TEAR OFF & RE-ROOF HOUSE ONLY (SHINGLE). R/R ROOF VENTS. R 10/5/2020 Roof-L 88162-0 \$7,642.00 \$205.00

74 Carol H. Chasroff Trust 3219 S. Maple Avenue 16-31-109-035-0000 paying for additional plumbing underground inspection for area way drain. R 10/6/2020 Impr-L 85056-1 \$0.00 \$50.00

75 Sylvia Uribe - Ramirez 2508 S. Ridgeland Avenue 16-30-231-018-0000 PLUMBING ROUGH AND FINAL REINSPECTION AND CORRECTIONS. INSTALL EGRESS WINDOWS AT 2ND FL & BASEMENT. REPAIR CRACKED DRYWALL AT LIVING ROOM CEILING. RE WORK EXISTING LAUNDRY PLUMBING TO CODE. REPLACE GARAGE ROOF. REPAIR FRONT STAIR PIER WALLS. TRIM TREE BR R 10/6/2020 Impr-L 85422-1 \$0.00 \$100.00

76 Mary Kelly 2837 S. Wenonah Avenue 16-30-311-008-0000 TEAR OFF AND RESHINGLE THE HOUSE AND GARAGE. R 10/6/2020 Roof-L 88163-0 \$9,600.00 \$200.00

77 Dale E. Eppers & Nancie Eilee 2745 S. Cuyler Avenue 16-29-309-019-0000 TEAR OFF AND RESHINGLE THE GARAGE. R 10/6/2020 Roof-L 88164-0 \$2,800.00 \$40.00

78

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of	Permit	Cost Of	Permit
79 Deysi Arguello	2303 S. Harvey Avenue	R	10/6/2020 Roof-L	88165-0	\$13,793.35	\$260.00			
	16-29-111-002-0000		TEAR OFF AND REROOF THE HOUSE.						
J. Boyle & P. Domabyl	2510 S. Oak Park Avenue	R	10/6/2020 Elec-L	88166-0	\$2,925.00	\$105.00			
	16-30-117-023-0000		TRENCH IN NEW ELECTRIC UNDERGROUND FROM THE HOUSE TO GARAGE. RIDGE OR IMC CONDUIT WILL BE INSTALLED TO THE TRENCH, A 20AMP CIRCUIT CONSISTING OF A HOT, NEUTRAL AND DEDICATED GROUND TO BE PULLED THROUGH THE CONDUIT TO THE GARAGE.						
80 Scott J Zimmerle & Asha Zimm	2406 S. Clarence Avenue	R	10/6/2020 Elec-L	88167-0	\$1,100.00	\$125.00			
	16-30-218-021-0000		ATF - UPGRADE ELECTRICAL SERVICE TO 200 AMP - CHANGE THE DROP SERVICE WIRE FROM #2 TO #3 AND CHANGE THE EXISTING 1 1/2 PIPE TO 2" PIPE.						
81 Marcus Mc Kinley	1311 S. Euclid Avenue	R	10/6/2020 Impr-L	88168-0	\$3,170.00	\$170.00			
	16-19-209-005-0000		REMOVE AND REPLACE THE FRONT WOODEN STEPS TO CODE.						
82 Carol H. Chasnoff Trust	3219 S. Maple Avenue	R	10/6/2020 Impr-L	88169-0	\$4,450.00	\$235.00			
	16-31-109-035-0000		R/R REAR WOOD LANDING AND STEPS.						
83 Steve Espinoza	3833 S. Harvey Avenue	R	10/6/2020 Impr-L	88170-0	\$3,240.00	\$220.00			
	16-32-327-015-0000		DEMO AND REBUILD SIDEW STAIRS AND LANDING.						
84 Greg Vondra	6601 W. 31st Street	R	10/6/2020 Dump-L	88171-0	\$0.00	\$50.00			
	16-30-418-044-0000		DUMPSTER ON STREET. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.						
85 Thomas D. Hlavacez	6337 S. Roosevelt Road 202		10/6/2020 HVAC-L	88172-0	\$4,500.00	\$215.00			
	16-20-100-038-1007		R/R AC UNIT 2 TON 13 SEER. AC CONDENSERS MUST BE LOCATED BEHIND THE HOUSE 3' FROM PROPERTY LOT LINE AND ELECTRICAL METER.						
86 John D. Jansen & Jocelyn P. J	2448 S. Ridgeland Avenue	R	10/6/2020 POD-L	88173-0	\$0.00	\$50.00			
	16-30-223-037-0000		POD ON STREET. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.						
87 Edward Marten Schalm Jr	3147 S. Wisconsin Avenue	R	10/6/2020 Impr-L	88174-0	\$5,100.00	\$275.00			
	16-31-102-028-0000		INSTALL STAINLESS STEEL CHIMNEY LINER, FIREPLACE REPAIR, CHIMNEY CROWN REPAIR, FIREPLACE CHIMNEY TUCKPOINTING.						
88									



# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address	Between: 10/11/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
6700 W 26th Street	6700 W. 26th Street 0	99-99-999-000-0619	INSTALL NEW VALVE BOX W/ ONE RED #12 WIRE ON NORTH SIDE OF INSULATOR AND ONE #12 RED WIRE ON SOUTH SIDE OF INSULATOR AND DROP A 32LB AND BRING ALL THREE WIRES. -9 Locations	R	10/6/2020 Impr-L	88175-0	\$0.00	\$0.00
89 Joseph M. Pavel	1247 S. Scoville Avenue	16-19-205-024-0000	MAKE REPAIRS ON THE GARAGE THAT HAVE BEEN DAMAGED TO WIND - REPAIR SOFFIT, SIDING AND THE HOLE IN THE GARAGE ROOF(SHINGLES)	R	10/6/2020 Impr-L	88176-0	\$2,500.00	\$55.00
90 Stefano F. Caputo & Deborah	2717 S. Cuyler Avenue	16-29-309-009-0000	TEAR OFF AND RESHINGLE THE HOUSE AND GARAGE.	R	10/6/2020 Roof-L	88177-0	\$4,300.00	\$150.00
91 Andrew 6721 Corporation	6721 W. Roosevelt Road	16-19-201-001-0000	REMOVE OLD SIDING, INSTALL NEW TYVEK AND INSTALL NEW VINYL SIDING AND BRICK PANEL SIDING.	C/R	10/6/2020 Impr-L	88178-0	\$19,500.00	\$360.00
92 Hilda Barba	1306 S. Home Avenue	16-19-111-026-0000	TUCKPOINT BOTTOM SOUTH SIDE, TOP NORTH SIDE OF BUILDING AND R/R AROUND 50 BRICKS. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.	R	10/6/2020 Impr-L	88179-0	\$800.00	\$40.00
93 Abraham Herrera & Laura Madr	2229 S. Wesley Avenue	16-30-202-009-0000	GRIND & TUCKPOINT FRONT & SIDE OF HOUSE. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.	R	10/6/2020 Impr-L	88180-0	\$1,000.00	\$40.00
94 Humberto K Ornelas Gutierrez	3601 S. Clarence Avenue	16-31-410-092-0000	ATF -ATTACHED A SHED TO THE EXISTING GARAGE AND SHINGLING THE SHED -- THE WALL BETWEEN THE EXIST GARAGE AND NEW SHED MUST REMAIN.	R	10/6/2020 Impr-L	88181-0	\$300.00	\$190.00
95 Jessy E. Guzman	6537 W. 16th Street	16-19-228-038-0000	T/O & RE-ROOF SHINGLE HOUSE TO CODE. INSTALL NEW MUSHROOM VENTS. NO POWER VENTS. ICE AND WATER SHIELD TO CODE	R	10/6/2020 Roof-L	88182-0	\$2,100.00	\$125.00
96								

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit
Vanessa Ramirez & Ricardo M 3835 S. Harvey Avenue	16-32-327-016-0000	R	10/6/2020 Impr-L	88183-0	\$500.00	\$240.00
AT FOR REGENSSED LIGHTING THROUGHOUT HOUSE & THE BATHROOM. INSTALL EGRESS WINDOW IN BASEMENT. INSTALL HANDRAIL FOR BASEMENT STAIRWAY TO CODE. R/R CONCRETE WALK ON SOUTH SIDE OF PROPERT NEAR GARAGE SERVICE DOOR & ALLEY APRON. CONCRETE MUST PITCH TOWARDS O						
97 Robert Nemecek 3046 S. Oak Park Avenue	16-30-326-034-0000	R	10/6/2020 Impr-L	88184-0	\$1,268.00	\$40.00
R/R ONE (1) LIVING ROOM WINDOW.						
98 F. Almazan 1635 S. Harvey Avenue	16-20-303-015-0000	R	10/6/2020 Impr-L	88185-0	\$400.00	\$90.00
R/R CONCRETE APRON TO CODE.						
99 Sergio Chavarin & Walter A. G 2422 S. Cuyler Avenue	16-29-116-028-0000	R	10/7/2020 Bldg-B	9607-0	\$3,500.00	\$755.00
DECONVERT ATTIC KITCHEN - CAP ALL PIPES BACK TO THE SOURCE & REPAIR WALL. CONVERT STORAGE ROOM IN THE BSMT TO A BEDROOM. ADDING A HEAT SOURCE & INSTALL EHRESS WINDOWS TO CODE. ATF INSTALL OF BSMT 3/4 BATHROOM. INSTALL EXHAUST, BRING WINDOWS TO EGRESS COD						
100 Johnny & Robin Rodriguez 2911 S. Kenilworth Avenue	16-30-313-079-0000	R	10/7/2020 Fence-L	87426-1	\$0.00	\$50.00
FINAL FENCE REINSPECTION ATF. REMOVE AND REPLACE THE FENCE ON THE NORTH SIDE OF THE PROPERTY. R/R GATES ON THE SOUTH SIDE OF THE PROPERTY. USING OWN POSTS. 5FT TALL FENCE.						
101 Stephanie Matushek & Nicole 2740 S. Wesley Avenue	16-30-407-037-0000	R	10/7/2020 Dump-L	87602-1	\$0.00	\$50.00
DUMPSTER ON THE STREET DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.						
102 Ben Davis & Jessica Davis 6425 W. 27th Street	16-30-405-049-0000	R	10/7/2020 Plum-L	88186-0	\$5,683.48	\$350.00
INSTALL 28FT OF INTERIOR DRAIN TILE. 1/2 HP SUMP PUMP, 20FT OF 4" SOLID PVC UNDERGROUND. 1 INTERIOR FOUNDATION CRACK REPAIR AND SINGLE RECEPTACLE OUTLET -- DISCHARGE TO REAR YARD.						
103 Ian & Brianne Sprayer 2121 S. Home Avenue	16-19-328-008-0000	R	10/7/2020 Plum-L	88187-0	\$15,999.00	\$450.00
INSTALL 141 FT OF INTERIOR DRAIN TILE, SUMP PUMP SYSTEM - 2 PUMPS- 32 FT OF 4" SOLID PVC UNDERGROUND, 17' OF 4" TRENCH DRAIN, SINGLE RECEPT OUTLET ON DEDICATED CIRCUIT - MUST DISCHARGE TO BACK YARD.						
104						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/11/2020	And 10/31/2020	P.I.N. #	Description	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
105	Mario & Rommy Vargas	7023 W. 26th Parkway	16-30-300-013-0000	REMOVE WOODEN BARRIERWALL & REPLACE W/ CONCRETE SLAB. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBORS OR CITY.	R	10/7/2020 Impr-L	88188-0	\$2,500.00	\$105.00	
105	Bruce & Vicky Rowell	2845 S. Wenonah Avenue	16-30-311-012-0000	INSTALL 1/2 HP SUMP PUMP AND BATTERY OPERATED BACK UP SUMP PUMP AND MONITOR. DEDICATED CIRCUIT EXISTS. OK PER CDL TO USE EXISTING DISCHARGE.	R	10/7/2020 Plum-L	88189-0	\$2,285.00	\$255.00	
106	Matthew & Kimberly Klinger	3211 S. East Avenue	16-31-212-010-0000	3 INTERIOR FOUNDATION CRACKS REPAIRS.	R	10/7/2020 Plum-L	88190-0	\$1,557.01	\$40.00	
107	Millers Jewelers	6720 W. Cermak Road	16-19-425-021-0000	INSTALL NEW 30 SPACE ELECTRICAL PANEL. ELIMINATE EXPOSED BX. INSTALL NEW GFCL RUN CONDUIT TO MAIN WATER LINE FOR BONDING.	C	10/7/2020 Elec-L	88191-0	\$1,700.00	\$140.00	
108	William W. & Loretta J. Wenig	3749 S. Euclid Avenue	16-31-416-019-0000	R/R 11 WINDOWS- 4 IN ATTIC, 1 IN BATHROOM & 6 IN THE BASEMENT -- WINDOWS TO EGRESS CODE WHERE REQUIRED.	R	10/7/2020 Impr-L	88192-0	\$6,555.00	\$165.00	
109	Veronica Gonzalez	1636 S. Grove Avenue	16-19-306-028-0000	TUCK POINT SIDE OF HOUSE. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.	R	10/7/2020 Impr-L	88193-0	\$800.00	\$40.00	
110	Linda Degutis	3201 S. Cuyler Avenue	16-32-112-001-0000	EMERGENCY SEWER REPAIR. PRIVATE PROPERTY. REPLACE COMPROMISED LINE IN THE FRONT YARD AND INSTALL CLEAN OUT. BACKFILL TRENCH.	R	10/7/2020 Impr-L	88194-0	\$7,200.00	\$180.00	
111	Shella Parker	1543 S. Kenilworth Avenue	16-19-130-046-0000	ATF FENCE. R/R NEIGHBOR'S GATE FROM LOT LINE TO HOUSE. FENCE MUST BE 5FT TALL. IF OVER 5FT MUST CUT DOWN. CAN ADD 1FT OF LATTICE TO MAKE 6FT.	R	10/7/2020 Fence-L	88195-0	\$600.00	\$135.00	
112	Wendy M Erwin-Lawson	1532 S. Clarence Avenue	16-19-226-052-0000	R/R FURNACE - CHIMNEY LINER EXISTS.	R	10/7/2020 HVAC-L	88196-0	\$8,059.00	\$115.00	
113	M. Lopez	2409 S. Scoville Avenue	16-30-221-004-0000	R/R BOILER. Boilers must have an isolation valve installed on the supply and return	R	10/7/2020 HVAC-L	88197-0	\$7,145.00	\$200.00	
114										

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/1/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
115	Ramirez	1618 S. Scoville Avenue	16-19-404-027-0000	R/R A/C UNIT. A/C CONDENSERS MUST BE LOCATED BEHIND THE HOUSE 3' FROM PROPERTY LOT LINE AND ELECTRICAL METER.	R	10/7/2020 HVAC-L	88198-0	\$4,640.00	\$140.00
115	RICHARD & MARIAN FRIENDT	1308 S. Kenilworth Avenue	16-19-113-024-0000	R/R COIL FOR 4TON A/C UNIT	R	10/7/2020 HVAC-L	88199-0	\$0.00	\$40.00
116	David & Linda Skupien	3648 S. Highland Avenue	16-32-309-026-0000	INSTALL A 4FT CHAIN LINK FENCE FROM THE FRONT OF THE GARAGE TO THE ALLEY.	R	10/7/2020 Fence-L	88200-0	\$850.00	\$135.00
117	Nancy Taranzo	1421 S. Maple Avenue	16-19-117-009-0000	T/O & REEROOF HOUSE & GARAGE ROOFS TO CODE. ICE & WATER SHIELD TO CODE. R/R 6 VENTS. NO POWER VENTS.	R	10/7/2020 Roof-L	88201-0	\$8,500.00	\$185.00
118	Ricardo Serrano-Lopez	2845 S. Wisconsin Avenue	16-30-310-015-0000	INSTALLATION OF ROOFTOP SOLAR PANELS	R	10/7/2020 Impr-L	88202-0	\$11,191.00	\$240.00
119	Alexander McKinley & Roshni P	6855 W. 30th Street	16-30-319-016-0000	INSTALL GFCI IN LAUNDRY AND GARAGE. SIMPLEX OUTLET FOR GARAGE DOOR OPENER IN EXISTING LOCATION, GARAGE REMOVE 2 SOCKET AND BLANK OFF THE BOXES WITH LARGE OCTAGON COVER, ONE NEEDED A KNOCKOUT PLUG.	R	10/7/2020 Elec-L	88203-0	\$200.00	\$90.00
120	LAUTHA INC. & ALAN LARA S	6411 W. Sinclair Avenue	16-31-226-029-0000	R/R SIDEWALK FROM THE CITY WALK TO THE ALLEY. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBOR'S OR CITY.	R	10/7/2020 Impr-L	88204-0	\$1,500.00	\$140.00
121	Joann Nichols	3607 S. Oak Park Avenue	16-31-400-011-0000	T/O & RE-ROOF HOUSE (SHINGLE) TO CODE. R/R ROOF VENTS. R/R 14FT FASCIA, ICE & WATER SHIELD TO CODE. NO POWER VENTS.	R	10/7/2020 Roof-L	88205-0	\$3,910.00	\$125.00
122	Arlene Davila	1843 S. Scoville Avenue	16-19-413-015-0000	R/R 16 WINDOWS IN BASEMENT. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	R	10/7/2020 Impr-L	88206-0	\$8,300.00	\$195.00
123	D & G Bedford	6826 W. 30th Street	16-30-324-010-0000	INSTALL A DECK IN THE BACK OF THE HOUSE.	R	10/7/2020 Impr-L	88207-0	\$5,000.00	\$235.00
124									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address

P.I.N. #

Census Class Permit Issued Permit # Improvements Permit Cost Of

Dulce Carolina& Bruce Mena

1616 S. Maple Avenue

16-19-300-026-0000

R

10/7/2020 Impr-L

88208-0

\$10,190.05

\$300.00

TEAR OFF AND RESHINGLE THE HOUSE AND GARAGE. R/R GUTTERS AND DOWNSPOUTS ON THE HOUSE AND GARAGE. R/R WINDOWS WRAPS AND FASCIA WHERE NEEDED.

125

Sergio Tovar

1504 S. Lombard Avenue

16-20-126-023-0000

R

10/7/2020 Impr-L

88209-0

\$6,000.00

\$200.00

R/R SIDEWALK ON THE SOUTH SIDE OF THE PROPERTY FROM THE CITY WALK TO THE ALLEY, POUR NEW CONCRETE UNDER THE EXISTING DECK, INCREASE THE EXISTING REAR CONCRETE PATIO BY 6FT AND REMOVE BRICKS AND INSTALL PAVER AT THE NORTH CORNER OF THE GARAGE. CONCRETE MU

126

Omar Pimental

3124 S. Clinton Avenue

16-31-104-023-0000

R

10/7/2020 Impr-L

88210-0

\$500.00

\$40.00

REMOVE KITCHEN CABINETS & FLOORING. REMOVE BATHROOM TILE & FLOORING. REMOVE BASEMENT DRYWALL & CEILING TO MAKE BSMT UNFINISHED.

127

Michael Scioia

3714 S. Clarence Avenue

16-31-417-097-0000

R

10/8/2020 Bldg-B

9608-0

\$0.00

\$1,160.00

COMPLETE REMODEL OF THE 2 UNIT - 1ST FLOOR WILL CONSIST OF KITCHEN, DINING ROOM, LIVING ROOM, EXISTING FULL BATH, EXISTING 3/4 BATH AND 3 EXISTING BEDROOMS. GARDEN UNIT WILL CONSIST OF KITCHEN, DINING ROOM, LIVING ROOM, EXISTING FULL BATH AND 2 EXISTING B

128

Christian Carrera

2102 S. Harvey Avenue

16-20-331-013-0000

R

10/8/2020 Impr-L

85636-1

\$0.00

\$250.00

PAYING FOR ADDITIONAL INSPECTION PLUMBING UNDERGROUND PVC, BEDDING AND HEAD TEST, CHLOROLY INSPECTION AND GAS PRESSURE TST.

129

Guy Armand Affolaby & My N.

3335 S. Clinton Avenue

16-31-125-021-0000

R

10/8/2020 Impr-L

88211-0

\$0.00

\$40.00

EXTERIOR PAINTING OF VINYL SIDING HOUSE & GARAGE. REPAIR FRONT PORCH & INSTALL STONE VENEER. NEW INTERIOR CARPET, NEW TREADS & RISERSON STAIRS. REFINISH STAIRS. FRAME AROUND BASMT SUPPORT POSTS. NEW VINYL FLOOR. SAW CUT & POUR NEW GARAGE FLOOR.

130

LA VIVIENDA # 4 LLC

6543 W. Cermak Road

16-30-204-003-0000

C

10/8/2020 Roof-L

88212-0

\$26,400.00

\$455.00

TEAR OFF AND REROOF THE BUILDING WITH MOD BIT.

131

Andrew Sullivan

6631-39 W. 21st Street

16-19-418-030-0000

C

10/8/2020 Plum-L

88213-0

\$3,700.00

\$120.00

REPAIR WATER SERVICE IN THE PARKWAY. REPAIR ONLY.

132

(Building: Permit\_County\_All)

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address

P.I.N. #

Census Class Permit Issued Permit # Cost Of Improvements Cost Of Permit

Barbara Korbel & Patrice Murth 1522 S. Oak Park Avenue 16-19-131-032-0000 INSTALLING DIRECT VENT GAS STOVE. RUNNING GAS LINE TO STOVE. R 10/8/2020 Impr-L 88214-0 \$4,175.00 \$65.00

133  
Gerrini Hair Design 6724 W. Cermak Road 99-99-999-000-0018 INTERIOR DEMO. C 10/8/2020 Impr-L 88216-0 \$3,500.00 \$70.00

134  
Benny Varga 3136 S. Ridgeland Avenue 16-31-211-013-0000 DEMO AND REBUILD THE REAR STAIRS TO THE 2ND FLOOR. R 10/8/2020 Impr-L 88217-0 \$800.00 \$190.00

135  
Pilsen-Little Village Mental Heal 2600 S. Ridgeland Avenue 16-30-404-023-0000 INSTALL A NEW 100 AMP 3 PHASE 208 BREAKER PANE ON SECOND FLOOR, INSTALL NEW CIRCUIT, WIRING AND DEVICES UP TO CODE FOR NEW OFFICES, BATHROOM, KITCHEN AND COMMON AREAS ON 2ND FLOOR. NEW CONDUIT AND SIRING FOR SMOKES, EMERGENCY LIGHTS, AND EXIT SIGNS IN COM C 10/8/2020 Elec-L 88218-0 \$26,500.00 \$515.00

136  
Jose Figueroa 1224 S. Wesley Avenue 16-19-201-031-0000 TEAR OFF AND RESHINGLE THE HOUSE AND GARAGE AND R/R GUTTERS AND DOWNSPOUTS ON THE HOUSE. DOWNSPOUTS MUST DISBURSE ONTO PRIVATE PROPERTY. R 10/8/2020 Impr-L 88219-0 \$12,000.00 \$315.00

137  
Rachel M De Leon 2418 S. Ridgeland Avenue 16-30-223-026-0000 R/R 7 WINDOWS - 2 IN KITCHEN AND 5 IN THE BEDROOMS - WINDOWS TO EGRESS CODE. R 10/8/2020 Impr-L 88220-0 \$14,595.00 \$285.00

138  
P. Sandoval & E. Hernandez 2842 S. Maple Avenue 16-30-308-040-0000 R/R WINDOWS - 2 IN BEDROOM AND 2 IN OFFICE - WINDOWS TO EGRESS CODE WHERE REQUIRED. R 10/8/2020 Impr-L 88221-0 \$4,521.00 \$135.00

139  
Anthony & Loretta Diaz 1331 S. Wenonah Avenue 16-19-111-015-0000 R/R FRONT YARD FENCE - FENCE CANNOT BE BROUGHT CLOSER TO THE CITY SIDEWALK. -- 5FT + 1 FT OPEN LATTICE FENCE. R 10/8/2020 Fence-L 88222-0 \$3,200.00 \$135.00

140  
A & F Castillo 2424 S. Scoville Avenue 16-30-220-031-0000 REWIRE HOME - INCLUDES NEW OUTLETS AND SWITCHES, NEW 100 AMP SERVICE, 30 SPACE, UPDATED GROUNDING SYSTEM, UPDATE SMOKES AND CARBONS, DEDICATED CIRCUIT IN KITCHEN R 10/8/2020 Elec-L 88223-0 \$22,500.00 \$455.00

141  
Pioneer of Berwyn, Inc. 6730 W. Cermak Road 16-19-424-021-0000 INTERIOR RENOVATION OF EXISTING SPACE TO ADD CONFERENCE ROOM AND ONE OFFICE. C 10/8/2020 Impr-L 88224-0 \$20,000.00 \$2,070.00

142  
(Building: Permit County All)



# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address

P.I.N. #

Census Class Permit Issued Permit # Improvements Cost Of Permit

Mario Lagurus	2347 S. Harvey Avenue	16-29-111-020-0000	TEAR OFF AND RESHINGLE THE HOUSE. 10/19/20 WILL BE DOING SMALL TUCKPOINTING ON THE CHIMNEY AS OWNER.	R	10/8/2020	Roof-L	88226-0	\$4,000.00	\$125.00
---------------	-----------------------	--------------------	--	---	-----------	--------	---------	------------	----------

Bonner	3207 S. Scoville Avenue	16-31-213-013-0000	R/R SIDEWALK FROM CITY WALK TO BACK OF HOUSE. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBOR'S OR CITY.	R	10/8/2020	Impr-L	88227-0	\$1,875.00	\$90.00
--------	-------------------------	--------------------	--	---	-----------	--------	---------	------------	---------

Jorge Orozco	2833 S. Cuyler Avenue	16-29-317-014-0000	TEAR OFF AND RESHINGLE THE HOUSE.	R	10/8/2020	Roof-L	88228-0	\$6,764.00	\$155.00
Kenilworth Place Condos	6850 W. Cermak Road	16-19-330-023-0000	R/R WATER HEATER WATER HEATERS REQUIRE EXPANSION TANKS.	C	10/8/2020	Plum-L	88229-0	\$6,875.00	\$85.00

Kathryn M Velker	3520 S. Clinton Avenue	16-31-304-063-0000	TEAR OFF AND RESHINGLE THE HOSUE.	R	10/8/2020	Roof-L	88230-0	\$5,500.00	\$140.00
Randy Van Boxtel	1310 S. Highland Avenue	16-20-108-021-0000	R/R 3 WINDOWS ON THE BACK PORCH.	R	10/8/2020	Impr-L	88231-0	\$2,980.00	\$55.00
GW Berwyn LLC	7136 W. Ogden Avenue 1	99-99-999-000-0723	INSTALL A FIRE ALARM SYSTEM TO CODE FOR THE BUILDOUT OF STARBUCKS.		10/8/2020	Impr-L	88232-0	\$6,375.00	\$1,155.00

Thomas J & Sherry A Casa	6429 W. 28th Street	16-30-411-062-0000	INSTALL NEW HOUSE WRAP AND VINYL SIDING OVER THE EXISTING SIDING ON THE BACK OF THE BUILDING -- WILL NEED TO STRAIGHTEN OUT A FEW PIECES OF THE EXISTING SIDING.	R	10/8/2020	Impr-L	88233-0	\$1,000.00	\$90.00
--------------------------	---------------------	--------------------	--	---	-----------	--------	---------	------------	---------

Vienna Corral	1625 S. Maple Avenue	16-19-301-015-0000	TEAR OFF AND RESIDE THE FRONT DORMER OF THE HOUSE -- INSTALL TYVEK TO CODE.	R	10/8/2020	Impr-L	88234-0	\$450.00	\$40.00
---------------	----------------------	--------------------	---	---	-----------	--------	---------	----------	---------

Enrique A. Quilanlan	1344 S. Clarence Avenue	16-19-210-041-0000	R/R CONCRETE PATIO 215 SQ FT. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBORS OR CITY.	R	10/8/2020	Impr-L	88236-0	\$2,800.00	\$105.00
----------------------	-------------------------	--------------------	---	---	-----------	--------	---------	------------	----------

MARTIN CALDERON	2348 S. Clinton Avenue	16-30-105-037-0000	ATF FOR ATTIC BATHROOM, BRING PLUMBING AND ELECTRIC TO CODE. PROPERLY DRAIN SHOWER, TOILET, SINK AND VENT. PATCH GARAGE FLOOR CONCRETE. REMOVE AND REPLACE 200AMP ELECTRICAL SERVICE. R/R BX WIRING IN BASEMENT, R/R 31 WINDOWS AND INSTALL WINDOWS TO EGRESS	R	10/9/2020	Bldg-B	9609-0	\$6,000.00	\$400.00
-----------------	------------------------	--------------------	---	---	-----------	--------	--------	------------	----------

153

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: <u>10/1/2020</u>	And <u>10/31/2020</u>	P.I.N. #	Description	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
154	Angela M. Gambino 2244 S. Wesley Avenue	16-30-201-016-0000	CONVERT A BASEMENT BEDROOM INTO A 3/4 BATHROOM - INSTALL CEILING EXHAUST FAN- BASEMENT IS ALREADY FINISHED AND EGRESS WINDOWS EXIST PER GENERAL CONTRACTOR	R	10/9/2020 Bldg-B	9610-0	\$13,400.00	\$1,445.00		
154	Walter & Karen Fitz 3118 S. Clarence Avenue	16-31-202-020-0000	R/R ALLEY GATE WITH 6FT WOOD AND R/R GATE AT END OF HOUSE WITH 5FT + 1FT OPEN LATTICE -- ATTACHED TO HOUSE/GARAGE - POSTS EXIST AND ARE FEE STANDING FROM THE NEIGHBOR FENCE.	R	10/9/2020 Fence-L	88237-0	\$600.00	\$85.00		
155	Kathy & Robert Musio 3726 S. Harvey Avenue	16-32-318-037-0000	R/R BOILER TO CODE Boilers must have an isolation valve installed on the supply and return	R	10/9/2020 HVAC-L	88238-0	\$5,495.00	\$200.00		
156	Andrew Sullivan 6631 -39 W. 21st Street	16-19-418-030-0000	UPGRADE THE WATER SERVICE TO 2" -- WILL BE REUSING THE EXISTING 1 1/2" WATER METER.	C	10/9/2020 Plum-L	88239-0	\$9,700.00	\$2,440.00		
157	Ricardo Garcia 3540 S. Wisconsin Avenue	16-31-301-030-0000	REMOVE THE FENCE THAT IS AT THE FRONT OF THE GARAGE AND INSTALL A 6FT SLIDING IRON GATE WITH WOOD PANELS AT THE REAR OF THE GARAGE. NO SHARP POINTS. GATE WILL NEED TO SLIDE IN FRONT OF THE GARAGE.	R	10/9/2020 Fence-L	88240-0	\$4,000.00	\$135.00		
158	Maria G. Tellez Ortiz, Guadalupe 2423 S. Highland Avenue	16-29-118-009-0000	INSTALLATION OF ROOF MOUNTED SOLAR PANEL PV SYSTEM. 35 PANELS.	R	10/9/2020 Impr-L	88241-0	\$25,014.00	\$450.00		
159	Martin Duhig & Jessica Duhig 1437 S. Gunderson Avenue	16-19-222-017-0000	R/R FLASHING ON THE CHIMNEY.	R	10/9/2020 Impr-L	88242-0	\$525.00	\$40.00		
160	Gerry C. Brown 3719 S. Grove Avenue	16-31-323-008-0000	REMOVE DRIP EDGE AROUND DORMER AND INSTAL GALVINEZE DRIP EDGE. INSTALL NEW FLASHING AROUND DORMER.	R	10/9/2020 Impr-L	88243-0	\$825.00	\$40.00		
161	Alex Argueta 3206 S. Kenilworth Avenue 3A	16-31-113-020-1005	R/R 3 WINDOWS - 2 IN BEDROOM AND 1 IN BATHROOM(TEMPERED) - WINDOWS TO EGRESS CODE WHERE REQUIRED		10/9/2020 Impr-L	88244-0	\$1,350.00	\$90.00		
162	Richard P. Razim & Suzanne 3206 S. Kenilworth Avenue 2A	16-31-113-020-1003	R/R 3 WINDOWS 2 BEDROOM AND 1 BATHROOM (TEMPERED) - WINDOWS TO EGRESS CODE WHERE REQUIRED.		10/9/2020 Impr-L	88245-0	\$1,350.00	\$90.00		
163										

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of	Permit	Cost Of	
Howard Kahn 3206 S. Kenilworth Avenue 1B	16-31-113-006-7003	R/R 3	10/9/2020 Impr-L	88246-0	\$1,350.00	\$90.00			
R/R 3 WINDOWS 2 IN BEDROOM AND 1 IN THE BATHROOM(TEMPERED) - WINDOWS TO EGRESS CODE WHERE REQUIRED.									
164 Andriy Tarasyuk 3206 S. Kenilworth Avenue 3B	16-31-113-006-7002	R/R 3	10/9/2020 Impr-L	88247-0	\$1,350.00	\$90.00			
R/R 3 WINDOWS - 2 IN BEDROOM AND 1 IN BATHROOM(TEMPERED) - WINDOWS TO EGRESS CODE WHERE REQUIRED									
165 Victor Luna 3206 S. Kenilworth Avenue 2B	16-31-113-006-7001	R/R 3	10/9/2020 Impr-L	88248-0	\$1,350.00	\$90.00			
R/R 3 WINDOWS - 2 IN BEDROOM AND 1 IN BATHROOM(TEMPERED) - WINDOWS TO EGRESS CODE WHERE REQUIRED									
166 Rick Toman (PIP) 2720 S. Clinton Avenue	16-30-312-014-0000	R	10/9/2020 Impr-L	88249-0	\$770.00	\$40.00			
GRIND OUT WORN AND CRACKED MORTAR ON NORTH WALL - TUCKPOINT AS NEEDED AND WATERPROOFING.									
167 Corinne A. Rogoz 1537 S. Cuyler Avenue	16-20-124-014-0000	R	10/9/2020 Roof-L	88250-0	\$4,500.00	\$125.00			
TEAR OFF AND RESHINGLE THE HOUSE.									
168 Cristina Malvaez 2647 S. Horne Avenue	16-30-303-044-0000	R	10/9/2020 Impr-L	88251-0	\$10,602.00	\$225.00			
INSTALL ROOFTOP SOLAR PANELS. Solar panels must have tap connectors									
169 JAVIER & JAVIER VARGAS 2323 S. Home Avenue	16-30-105-010-0000	R	10/9/2020 Impr-L	88252-0	\$21,793.00	\$390.00			
INSTALL ROOFTOP SOLAR PANELS Solar panels must have tap connectors									
170 Michelle Mohr 3705 S. Oak Park Avenue	16-31-415-003-0000	R	10/9/2020 Impr-L	88253-0	\$6,780.00	\$150.00			
REMOVE THE PATIO AND ENTRANCE AND REPLACE WITH PERMEABLE PAVERS.									
171 Thelma M. Rodriguez 2219 S. East Avenue	16-30-204-013-0000	R	10/9/2020 Impr-L	88254-0	\$1,500.00	\$135.00			
REMOVE THE NORTH SIDE FENCE FROM THE END OF THE HOUSE TO THE END OF THE GARAGE AND INSTALL A 5FT + 1FT OPEN LATTICE VINYL FENCE.									
172 Benny Varga 3136 S. Ridgeland Avenue	16-31-211-013-0000	R	10/13/2020 Gar-B	9401-2	\$0.00	\$50.00			
DEMO AND REBUILD THE GARAGE 22X24X13'(H)..... ELECTRICAL FINAL RE-INSPECTION									
173 Merriment Homes 1216 S. Wesley Avenue	16-19-201-027-0000		10/13/2020 Bldg-B	9458-1	\$0.00	\$50.00			
RESTORATION FINAL REINSPECTION - THIS INSPECTION WAS FOR A PRE-POUR FOR CITY SIDEWALK AND NOT RESTORATION									
174 Ko Real Estate and Remodelin 1316 S. Elmwood Avenue	16-19-214-028-0000	R	10/13/2020 Bldg-B	9468-2	\$0.00	\$100.00			
PAYING FOR ADDITIONAL PLUMBING UNDERGROUND BEDDING AND HEAD TEST.									
175									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
MSP Home Solutions 3029 S. Clarence Avenue	16-30-418-013-0000	R	10/13/2020 Impr-L	85721-1	\$0.00	\$50.00
rough plumbing reinspection -- REMODELING OF SINGLE FAMILY HOME WITH NEW ELECTRIC AND PLUMBING TO CODE. REPAINT WALLS, REFINISH KITCHEN, UPDATE ENTIRE HOME, FINISHING THE FLOORS, REMODELING BATHROOM. BRINGING ELECTRIC IN GARAGE TO CODE. BRING WINDOWS TO						
176 Guadalupe Carrillo 3430 S. Wisconsin Avenue	16-31-129-031-0000	R	10/13/2020 Impr-L	87567-1	\$0.00	\$50.00
PRE-POUR REINSPECTION - R/R ALL EXISTING CONCRETE IN THE REAR YARD OF THE PROPERTY. ADD 360 SQ.FT OF NEW CONCRETE (36 X 10). CANNOT CONCRETE THE ENTIRE YARD.						
177 Yolanda Suarez 3814 S. Grove Avenue	16-31-330-022-0000	R	10/13/2020 Impr-L	88255-0	\$9,285.00	\$300.00
GRIND OUT AND TUCKPOINT TOP WALL FROM 2ND FLOOR UP. REMOVE AND REPLACE LINTEL ON 2ND FLOOR WINDOWS, TUCKPOINT SOUTH WALL. REMOVE/REBUILD BOTTOM 2-3 FT						
178 Christ Markou 2429 S. Scoville Avenue	16-30-221-011-0000	R	10/13/2020 Impr-L	88256-0	\$2,565.00	\$130.00
GRIND AND TUCKPOINT THE BASE OF THE FRONT STEP, REMOVE OLD CAULK AND RE-CAULK. GRIND OUT AND TUCKPOINT THE BOTTOM SOUTH AND EAST BOTTOM WALL AREAS AS NEEDED. R/R 10 BRICKS. POUR NEW CONCRETE BETWEEN THE HOUSE AND EXISTING SIDEWALK(WHERE CAULK USE TO BE)						
179 Frank Morici 3247 S. Wisconsin Avenue	16-31-110-013-0000	R	10/13/2020 Roof-L	88257-0	\$11,156.00	\$230.00
TEAR OFF AND RESHINGLE THE HOUSE.						
180 MARIO B. GARCIA 1322 S. Euclid Avenue	16-19-208-030-0000	R	10/13/2020 Plum-L	88258-0	\$7,500.00	\$300.00
1" WATER SERVICE UPGRADE.						
181 Berwyn Condo Association 3845 S. Gunderson Avenue	00-00-000-000-1234	C	10/13/2020 Impr-L	88259-0	\$3,060.00	\$150.00
INSTALL A RETRACTABLE PIT LADDER ON ELEVATOR.						
182 Denise Barber & Benjamin Ben 3504 S. Grove Avenue	16-31-308-020-0000	R	10/13/2020 Plum-L	88260-0	\$8,537.00	\$195.00
SEWER REPAIR AND INSTALL A CLEAN OUT ON PRIVATE PROPERTY.						
183 Bettyann Koblich 2507 S. Gunderson Avenue	16-30-230-003-0000	R	10/13/2020 HVAC-L	88261-0	\$5,970.00	\$215.00
R/R FURNACE AND CHIMNEY LINER.						
184 Kathy Plocharski 1244 S. Elmwood Avenue	16-19-206-039-0000	R	10/13/2020 HVAC-L	88262-0	\$6,755.00	\$200.00
R/R BOILER TO CODE Boilers must have an Isolation valve installed on the supply and return						
185						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit			
Alfred Rispens 186	1339 S. Gunderson Avenue 16-19-214-017-0000	R	10/13/2020 Impr-L	88263-0	\$1,500.00	\$40.00			
Timothy J. Moudry 187	6529 W. Sinclair Avenue 16-31-225-025-0000	R	10/13/2020 Impr-L	88264-0	\$3,380.00	\$70.00			
DEVYN & ROSALIA CULLERS 188	3500 S. Cuyler Avenue 16-32-300-020-0000	R	10/13/2020 Impr-L	88265-0	\$1,684.00	\$40.00			
FPK Mark Properties, LLC 189	3208 S. Grove Avenue 16-31-114-005-0000	C	10/13/2020 Impr-L	88266-0	\$10,000.00	\$210.00			
Arnollia M. Cizek 190	1807 S. Ridgeland Avenue 19-20-308-003-0000	R	10/13/2020 Roof-L	88267-0	\$10,000.00	\$200.00			
Shirley Gonzales 191	3712 S. Home Avenue 16-31-319-022-0000	R	10/13/2020 Roof-L	88268-0	\$1,910.00	\$50.00			
Araceli Garza and Ignacio Pere 192	2428 S. Euclid Avenue 16-30-216-027-0000	R	10/13/2020 Fence-L	88269-0	\$4,000.00	\$135.00			
Mitchell Chamamara 193	6943 W. Riverside Drive 16-30-109-024-0000	R	10/13/2020 Impr-L	88270-0	\$3,950.00	\$170.00			
Ana Saenz 194	6335 W. Cermak Road 16-29-100-004-0000	C	10/13/2020 Elec-L	88271-0	\$525.00	\$90.00			
Maria E. Zuniga 195	2126 S. Highland Avenue 16-20-330-019-0000	R	10/13/2020 Impr-L	88272-0	\$350,000.00	\$390.00			
William & Marilyn Hargadon 196	3607 S. Scoville Avenue 16-31-412-003-0000	R	10/13/2020 Roof-L	88273-0	\$3,000.00	\$125.00			
Jim & Lara Pawlak 197	3437 S. Euclid Avenue 16-31-231-020-0000	R	10/13/2020 Impr-L	88274-0	\$14,000.00	\$285.00			

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address	P.I.N. #	Between: <u>10/1/2020</u> And <u>10/31/2020</u>		Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Blanca Roldan 3725 S. Home Avenue	16-31-320-011-0000		GUTTERS, FASCIA, SOFFIT, A LITTLE BIT OF SIDING ON THE HOUSE, NOT REMOVING ANYTHING.	R	10/13/2020 Impr-L	88275-0	\$1,500.00	\$40.00
Juan & Jaime Chavez 1507 S. Clinton Avenue	16-19-129-003-0000		TEAR OFF AND RESHINGLE THE HOUSE - GRIND AND TUCKPOINT THE CHIMNEY.	R	10/13/2020 Impr-L	88276-0	\$3,500.00	\$115.00
Juan Carlos Avila & Aselida Sol 6517 W. 27th Street	16-30-405-066-0000		REMOVE THE FENCE THAT RUNS FROM THE CORNER OF THE GARAGE TO THE BACK OF THE HOUSE. INSTALL A NEW 5FT + 1FT OPEN LATTICE FENCE ON THE WEST SIDE OF THE PROPERTY AND A 6FT SOLID FENCE/GATE AT THE ALLEY	R	10/13/2020 Fence-L	88277-0	\$1,100.00	\$135.00
Alfredo Jimenez 1835 S. Oak Park Avenue	16-19-408-015-0000		GRIND AND TUCKPOINT THE SIDE AND REAR OF THE BUILDING - R/R AROUND 100 BRICKS. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.	R	10/13/2020 Impr-L	88278-0	\$2,000.00	\$40.00
Teresa Garza 3644 S. Grove Avenue	16-31-314-022-0000		REPLACING ROTTED DECK BOARDS, REMOVE/REPLACE ROTTED WOOD ONLY NOT AAQ TEAR DOWN.	R	10/13/2020 Impr-L	88279-0	\$500.00	\$90.00
Raul Perez & Anamaria Carrera 1418 S. Ridgeland Avenue	16-19-223-021-0000		INSTALLING NEW GUTTERS, FASCIA, AND DOWNSPOUTS	R	10/13/2020 Impr-L	88280-0	\$800.00	\$40.00
Francisco & Guadalupe Loza 3102 S. East Avenue	16-31-203-010-0000		REMOVING/REPLACING FRONT APPROACH, WALKWAY ON THE SOUTH SIDE OF THE HOUSE, AND CONCRETE FROM THE STREET TO THE PUBLIC SIDEWALK (TO ACCESS GARAGE)--- ALL EXISTING	R	10/13/2020 Impr-L	88281-0	\$4,400.00	\$120.00
Asif Mohammed 2704 S. Euclid Avenue	16-30-406-021-0000		PAYING FOR ADDITIONAL ELECTRICAL FINAL INSPECTION.	R	10/14/2020 Bldg-B	9195-3	\$0.00	\$50.00
LONDON PROPERTIES GRO 1849 S. Harvey Avenue	16-20-311-018-0000		PAYING FOR ADDITIONAL INSPECTION - PVC UNDERGROUND, PVC, BEDDING AND HEAD TEST, PLUMBING ROUGH FOR DRAIN TILE AND 2 FAILED PLUMBING FINAL REINSPECTION	R	10/14/2020 Bldg-B	9406-1	\$0.00	\$300.00
Sonia Lopez & Carlos Rivero 1817 S. Gunderson Avenue	16-19-414-007-0000		PARKWAY RE-INSPECTION-----NEW 1" WATER SERVICE UPGRADE.	R	10/14/2020 Plum-L	84062-1	\$0.00	\$50.00



# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Class	Permit Issued	Permit #	Improvements	Cost Of Permit
MSP Home Solutions 3029 S. Clarence Avenue	16-30-418-013-0000	R	10/14/2020 Impr-L	85721-2	\$0.00	\$130.00
FRAMING ROUGH AND INSULATION RE-INSPECTION FEES----- REMODELING OF SINGLE FAMILY HOME WITH NEW ELECTRIC AND PLUMBING TO CODE. REPAINT WALLS, REFINISH KITCHEN, UPDATE ENTIRE HOME, FINISHING THE FLOORS, REMODELING BATHROOM, BRINGING ELECTRIC IN						
208 Robert Woodyard 1403 S. Grove Avenue	16-19-123-041-0000	R	10/14/2020 Impr-L	88282-0	\$4,380.00	\$85.00
R/R SIDING ON THE GARAGE, ALUM TRIM SOFIT AND FASCIA, REPLACE DAMAGED DOOR FRAME AND TRIM WITH ALUM.						
209 Michael O'Donoghue 3845 S. Wesley Avenue	16-31-422-026-0000	R	10/14/2020 Elec-L	88283-0	\$1,075.00	\$90.00
UPGRADE ONE METER ELECTRIC SERVICE ENTRANCE TO 100 AMP						
210 John Joyce 2627 S. Home Avenue	16-30-303-019-0000	R	10/14/2020 HVAC-L	88284-0	\$7,584.00	\$290.00
R/R FURNACE, A/C UNIT AND CHIMNEY LINER A/C CONDENSERS MUST BE LOCATED BEHIND THE HOUSE 3' FROM PROPERTY LOT LINE AND ELECTRICAL METER.						
211 Raymond J. Centracco 2124 S. Ridgeland Avenue	16-19-431-018-0000	R	10/14/2020 Impr-L	88285-0	\$2,460.00	\$55.00
R/R 7 EXISTING GLASS BLOCK WINDOWS, BASEMENT I S LAUNDRY/STORAGE ONLY, UNFINISHED. NO EGRESS REQUIRED						
212 M & C Azar 3438 S. Kenilworth Avenue	16-31-133-024-0000	R	10/14/2020 Impr-L	88286-0	\$1,100.00	\$40.00
REMOVING GUTTER SYSTEM IN THE GARAGE, INSTALLING NEW ALUMINUM GUTTERS AND DOWNSPOUTS ON GARAGE ONLY.						
213 Joseph Anthony PolICASTRO & 2440 S. Wesley Avenue	16-30-217-032-0000	R	10/14/2020 Plum-L	88287-0	\$15,843.54	\$500.00
INSTALL 158FT OF DRAIN TILE, SUMP PUMP SYSTEM ( 2 PUMPS), 216 FT WALL LINER, 49FT OF 4" SOLID PVC UGE, DOUBLE BOWL LAUNDRY TUB AND FAUCET, LAWN SCAPE WELL, DOUBLE RECEPTACLE OUTLET ON DEDICATED CIRCUIT.						
214 Omar Gutierrez 6932 W. 30th Street	16-30-323-008-0000	R	10/14/2020 Fence-L	88288-0	\$7,300.00	\$135.00
R/R EXISTING FENCE FROM FRONT TO THE ALLEY R/R FENCE/GATE NEXT TO THE GARAGE. FENCE WILL BE 5FT +1FT OPEN LATTICE. HAS NEIGHBOR PERMISSION FROM 6930 30TH S. JULE DIG# ATTACHED.						
215						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/11/2020</u> And <u>10/31/2020</u>								
Name and Address	P.I.N. #	Class	Permit Issued	Permit #	Improvements	Permit	Cost Of	Cost Of	Permit	
Joseph & Ann Kadela 3510 S. Cuyler Avenue	16-32-300-043-0000	R	10/14/2020 Plum-L	88289-0	\$12,000.00	\$440.00				
INSTALL 1 SIMPLEX OUTLET INSIDE SEWER BACKUP VAULT ON DEDICATED 20AMP CIRCUIT, EXTERIOR BACKUP SYSTEM.										
216 Stephen & Martha McInyre 2912 S. Maple Avenue	16-30-314-027-0000	R	10/14/2020 Elec-L	88290-0	\$6,460.00	\$215.00				
SERVICE UPGRADE TO 200 AMPS, GFI PROTECT KITCHEN/BATH, REMOVE CLOTH BASEMENT, REMOVE CLOTH IN PANEL BASEMENT CIRCUIT/GFI PROTECT, GARAGE TO CODE.										
217 Katherine Sanderson 3812 S. Clinton Avenue	16-31-328-013-0000	R	10/14/2020 Impr-L	88291-0	\$0.00	\$100.00				
PRELIMINARY INSPECTION FOR PLUMBING AND ELECTRIC TO DETERMINE WHAT NEEDS TO BE BROUGHT TO CODE.										
218 Steven Kenneth Kuhn and Cath 1304 S. Scoville Avenue	16-19-212-025-0000	R	10/14/2020 Impr-L	88292-0	\$19,167.00	\$510.00				
INSTALL 16FT OF INTERIOR DRAIN TILE AND SUMP SYSTEM, INSTALL 10FT UNDERGROUND SUMP DISCHARGE, EXISTING DEDICATED OUTLET.										
219 Lino & Guillermina Martinez 1836 S. Elmwood Avenue	16-19-414-062-0000	R	10/14/2020 Impr-L	88293-0	\$2,000.00	\$40.00				
TUCKPOINTING AND REPLACING METAL ABOVE THE WINDOW										
220 Ubaldo R. Miranda 3606 S. Lombard Avenue	16-32-311-027-0000	R	10/14/2020 HVAC-L	88294-0	\$3,050.00	\$115.00				
R/R FURNACE TO CODE.										
221 J. Chavez & M. Reddukowski 6909 W. 26th Street	16-30-115-034-0000	R	10/14/2020 Impr-L	88295-0	\$1,000.00	\$40.00				
TUCKPOINT THE FRONT, SIDES AND STAIRS OF THE BUILDING. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.										
222 Mary Lou Friedman 2312 S. Highland Avenue	16-29-109-025-0000	R	10/14/2020 Elec-L	88296-0	\$4,636.00	\$185.00				
INSTALL CEILING FAN, INSTALL CONDUIT TO REMOVE BARE WIRES FROM BACK OT PANEL, INSTALL BONDING SCREW IN PANEL, INSTALL WHOLE HOME SURGE PROTECTORS, INSTALL NEW METER SOCKETS AND RISER AND NEW SMOKES AND CARBONS DETECTORS.										
223 Alex Sarros 2317 S. East Avenue	16-30-212-006-0000	R	10/14/2020 Impr-L	88297-0	\$7,680.00	\$195.00				
R/R EXISTING DRIVEWAY FROM PUBLIC WALK TO REAR CORNER 8.5X80 PLUS BACK SQUARE. FILLING IN THE RIBBONS. R/R EXISTING FRONT APPROACH AND REAR WALK APPROX. 5X17 AND 5X8---- CONCRETE MUST PITCH TO OWN PROPERTY.										
224										

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/1/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
225	Gary Lilly 3440 S. Wesley Avenue	16-31-231-039-0000	INSTALL 5.61KW ROOF MOUNTED SOLAR PANEL SYSTEM ON THE GARAGE.	R	10/14/2020	Impr-L	88298-0	\$17,050.00	\$330.00
225	Deifina Cervantes 1237 S. Clinton Avenue	16-19-105-022-0000	COMPLETE RELACEMENT OF ROOFING SYSTEM ON THE HOUSE. NEW VENTS, STORTER SHINGLES, FELT PAPER, ICE AND WATER SHIELD.	R	10/14/2020	Roof-L	88299-0	\$14,000.00	\$260.00
226	N. Mascitti 3838 S. Clinton Avenue	16-31-328-041-0000	ROOF REPLACEMENT ON THE HOUSE, ICE AND WATER SHILD, SHINGLES	R	10/14/2020	Roof-L	88300-0	\$7,000.00	\$155.00
227	J. Schweikie & J. Janda 3806 S. Clinton Avenue	16-31-328-011-0000	REPLACING FRONT SIDEWALK 20X4.5 AND REPLACING 1 STEP-- ALL EXISTING	R	10/14/2020	Impr-L	88301-0	\$1,500.00	\$90.00
228	Vincent Santoyo 2302 S. Harvey Avenue	16-29-110-021-0000	ELECTRIC ROUGH RE-INSPECTION----- NEW DORMER & INTERIOR REMODEL : ARCH , HVAC, PLUMBING, ELECTRIC WORK AT EXIST. 2.0 STORY BRICK BUILDING W/T BMST (S.F.R.) AND REPAIR GARAGE. ON 1ST FL. ELIMINATE 1 BEDROOM TO MAKE STAIRWAY TO 2ND FL.. 2ND FL. W/ 1 EX	R	10/15/2020	Bldg-B	9316-3	\$0.00	\$50.00
229	Michael D. Taylor 2124 S. Kenilworth Avenue	16-19-329-019-0000	DUMSTER PERMIT FOR ANY DEBRIS/GARBAGE. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.	R	10/15/2020	Dump-L	88302-0	\$0.00	\$50.00
230	Joyce Johnson 6411 W. Fairfield Avenue	16-31-214-032-0000	TEAR OFF AND RESHINGLE THE GARAGE ROOF.	R	10/15/2020	Roof-L	88303-0	\$750.00	\$40.00
231	Edward & Soledad Santiago 1918 S. East Avenue	16-19-419-020-0000	INTERIOR DEMO- GUT ALL WALL BACK TO BRICK AND STUDS - GUT ALL INTERIOR WALLS ONLY LEAVING PERIMETER WALLS, R/R WINDOWS - BRING WINDOWS TO EGRESS CODE WHERE REQUIRED, R/R GARAGE FLOOR AND INSTALL NEW GARAGE DOORS.	R	10/15/2020	Impr-L	88304-0	\$36,500.00	\$760.00
232	Richard Penkava 3428 S. Maple Avenue	16-31-128-034-0000	ROOF REPLACEMENT ON THE HOUSE AND GARAGE. GUTTER REPLACEMENT ON FRONT PORCH ONLY.	R	10/15/2020	Impr-L	88305-0	\$27,360.00	\$505.00
233									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #			Census Class	Permit Issued	Permit #	Improvements	Cost Of	Cost Of
Victor Burgos 2616 S. Oak Park Avenue	16-30-306-024-0000		ROOF REPLACEMENT ON THE HOSUE AND GARAGE, TEAR OFF, ICE AND WATER SHIELD, NEW VENTS, NEW PIPES, GUTTER REPLACEMENT	R	10/15/2020 Impr-L	88306-0	\$18,290.00	\$335.00	
Daniel Pecina 1940 S. Home Avenue	16-19-319-031-0000		R/R GUTTER AND DOWNSPOUTS ON THE HOUSE - AND R/R FASCIA AND TRIM ON THE DORMERS. DOWNSPOUTS MUST DISBURSE ONTO PRIVATE PROPERTY.	R	10/15/2020 Impr-L	88307-0	\$2,000.00	\$90.00	
Hiep Le 1500 S. Kenilworth Avenue	16-19-129-022-0000		INSTALL NEW 200 AMP ELECTRICAL SERVICE WITH 2 NEW METERS AND 1 PUBLIC METER, INSTALL 3 EMERGENCY BATTERY LIGHTS, REWIRE ALL PUBLIC CIRCUITS TO PUBLIC PANEL, REMOVE ALL EXPOSED BX CABLE AND INSTALL NEW CONDUIT, INSTALL NEW SINGLE OUTLETS FOR GARAGE DOOR OP	R	10/15/2020 Elec-L	88308-0	\$4,450.00	\$185.00	
Alphonse LaCoppola & Vicki La 3137 S. Highland Avenue	16-32-108-006-0000		FURNACE REPLACEMENT 80% EFF 70K BTUS. USINF EXISTING CHIMNEY LINER	R	10/15/2020 HVAC-L	88309-0	\$2,810.00	\$115.00	
Robert Turek 1502 S. Wesley Avenue	16-19-225-016-0000		TEAR OFF AND REROOF HOUSE ONLY, ICE AND WATER SHIELD, FELT PAPER	R	10/15/2020 Roof-L	88310-0	\$9,200.00	\$200.00	
Joshua Fulton & Jennifer M. Ha 2310 S. Grove Avenue	16-30-107-010-0000		TUCKPOINTING AS NEEDED ON THE CHIMNEY, INSTALLATION OF A CONCRETE CAP	R	10/15/2020 Impr-L	88312-0	\$1,400.00	\$40.00	
Jose Morales 3747 S. Maple Avenue	16-31-317-013-0000		TEAR OFF AND RE-SHINGLE ROOF ON HOUSE AND GARAGE, OVER BASE SHEET INSTALL A LAYER OF SELF, ADHERING MOD BIT.	R	10/15/2020 Roof-L	88313-0	\$11,660.00	\$230.00	
Vito Malarese 2218 S. Harvey Avenue	16-29-102-029-0000		TEAR OFF OLD SHINGLES ON GARRAG EAND HOUSE, NEW DRIP EDGE, VENTS, VENT PIPE, FLASHING, CHIMNEY KIT, FELT PAPER, ICE AND WATER SHIELD, SHINGLES	R	10/15/2020 Roof-L	88314-0	\$10,100.00	\$215.00	
Dorothy L Schwolow & Sandra 3747 S. Grove Avenue	16-31-323-017-0000		TEAR OFF SHINGLES AND RE-ROOF ON THE GARAGE, NEW FELT AND SHINGLES WITH 2 VENTS	R	10/15/2020 Roof-L	88315-0	\$1,400.00	\$40.00	

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/11/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Elizabeth Velazquez 3524 S. Scoville Avenue	16-31-404-036-0000	R	10/15/2020 Impr-L	88316-0	\$4,000.00	\$470.00
243 Ana C. Aranda 3708 S. Grove Avenue	16-31-322-018-0000	R	10/15/2020 Impr-L	88317-0	\$2,820.00	\$155.00
244 Sylvia Esparza 3816 S. Home Avenue	16-31-327-019-0000	R	10/15/2020 Impr-L	88318-0	\$1,000.00	\$90.00
245 Elizabeth Doerr 2702 S. Wesley Avenue	16-30-407-022-0000	R	10/15/2020 Impr-L	88319-0	\$2,950.00	\$105.00
246 Good Shepherd Lutheran Chur 1844 S. Grove Avenue	99-99-999-000-0263	R	10/15/2020 Impr-L	88320-0	\$5,200.00	\$0.00
247 Valerie C. Hester 2704 S. Harvey Avenue	16-29-310-022-0000	R	10/15/2020 Impr-L	88321-0	\$750.00	\$40.00
248 Berwyn Gateway Partners II, L 7102 W. Cermak Road 1	99-99-999-000-0655		10/15/2020 Sign-L	88322-0	\$3,000.00	\$155.00
249 Carl Gonzalez 1826 S. Grove Avenue	16-19-314-033-0000	R	10/16/2020 Impr-L	69332-1	\$0.00	\$100.00
250 Augustin Villegas 3709 S. Grove Avenue	16-31-323-004-0000	R	10/16/2020 Impr-L	88225-0	\$24,150.00	\$760.00
251						

CEMENT WORK, TUCKPOINT R/R PORCH  
WINDOWS, SIDING, GUTTERS, REPLACE  
CEMENT PLATFORM AND CEMENT STEPS,  
DEMOR/REBUILD EXISTING WING WALLS, RE-  
USE BRICK AND STONE. SPOT POINT BRICK  
ON SOUTHSIDE AND NORTHSIDE OF THE  
HOUSE AND ON THE LEFT SIDE OF THE  
STAIRS BEHI

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of	Permit	Cost Of	Permit
J J Stallman 1637 S. Scoville Avenue	16-19-405-018-0000	R	10/16/2020 Roof-L	88323-0	\$15,460.00	\$290.00			
TEAR OFF AND RE-ROOF HOUSE AND GARAGE, SOFFIT AND FASCIA ON THE GARAGE, ICE AND WATER SHIELD.									
252 F. Almazan 1635 S. Harvey Avenue	16-20-303-015-0000	R	10/16/2020 Impr-L	88324-0	\$400.00	\$0.00			
INSTALLING A HANDRAIL LEADING TO THE ATTIC									
253 Jose F. Zepeda 6241 W. Cermak Road	16-29-102-002-0000	C/R	10/16/2020 Impr-L	88325-0	\$800.00	\$40.00			
REPAIRING GARAGE EXTERIOR, TUCKPOINTING, REPLACING 150 BRICKS.									
254 Manal Musa 1808 S. Wesley Avenue	16-19-409-047-0000	R	10/16/2020 Impr-L	88326-0	\$2,200.00	\$255.00			
ATF - INSTALLED A GATE/FENCE BETWEEN THE 2 GARAGE ON THE SOUTH SIDE OF THE PROPERTY, INSTALL A GATE/FENCE BETWEEN THE 2 HOUSES ON THE SOUTH SIDE OF THE PROPERTY, FENCE CAN BE 5FT SOLID + 1FT OPEN LATTICE OR JUST 5FT SOLID - THIS FENCE MUST BE AT LEAST 15FT									
255 Ann M. Luksa Trust 3634 S. Ridgeland Avenue	16-31-414-032-0000	R	10/16/2020 Impr-L	88327-0	\$2,280.00	\$55.00			
REPLACING EXISTING GARDEN WALL WITH NEW BRICKS.									
256 Ty Luu 1611 S. Ridgeland Avenue	16-20-300-006-0000	R	10/16/2020 HVAC-L	88328-0	\$6,000.00	\$140.00			
A/C REPLACEMENT 13 SEER 3 TON, FURNACE REPLACEMENT 80% EFF 90K BTUS USING EXISTIG CHIMNEY LINER									
257 EDGAR ARELLANO & ELVIA 3807 S. Cuyler Avenue	16-32-325-037-0000	R	10/16/2020 Impr-L	88329-0	\$612.00	\$40.00			
1 INTERIOR FOUNDATION CRACK REPAIR									
258 Robert K & Joan D. Woodward 3107 S. Wenonah Avenue	16-31-103-003-0000	R	10/16/2020 Impr-L	88330-0	\$1,336.00	\$40.00			
POLY LEVEL TO LIFT AND STABILIZE CONCRETE									
259 Jose Garza 2804 S. Highland Avenue	16-29-317-022-0000	R	10/16/2020 Impr-L	88331-0	\$1,500.00	\$40.00			
REPLACING GUTTER ON THE HOUSE									
260 Dionny Cruz & Adan Cruz 1518 S. Ridgeland Avenue	16-19-231-025-0000	R	10/16/2020 Roof-L	88332-0	\$7,000.00	\$155.00			
FULL TEAR OFF ON THE HOUSE ROOF, ICE AND WATER SHIELD, PAPER FELT, VENTS, CHIMNEY FLASHING									
261 Angelina & Resurreccion Borio 1233 S. Elmwood Avenue	16-19-207-019-0000	R	10/16/2020 Roof-L	88333-0	\$8,000.00	\$170.00			
FULL TEAR OFF AND RE-ROOF ON THE HOUSE ONLY, ICE AND WATER SHIELD, PAPER FELT, VENTS, CHIMNEY FLASHING									
262									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>					
Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit	
J. A. Alvarez	6923 W. Ogden Avenue A	99-99-999-000-0581	POWER WASHING WITH WATER ON THE EXTERIOR BRICK WALL AND TUCKPOINTING AS NEEDED	10/16/2020 Impr-L	88334-0	\$500.00	\$40.00
263							
Jorge Salgado	1533 S. Cuyler Avenue	16-20-124-012-0000	SHINGLE ROOF REPLACEMENT, ICE AND WATER SHIELD, FELT PAPER----- ON THE HOUSE ONLY	10/16/2020 Roof-L	88335-0	\$3,500.00	\$125.00
264							
Mathew Kehrein & Mayowa Ag	2339 S. Ridgeland Avenue	16-29-108-016-0000	STUCCO REPAIR- WINDOW PAINTING	10/16/2020 Impr-L	88336-0	\$1,980.00	\$40.00
265							
Anne Danielson & Chris Barton	3424 S. Oak Park Avenue	16-31-135-019-0000	REMOVING AD REPLACING PATIO PAVERS IN THE BACKYARD(EXISTING), INSTALLING NEW 10X4 AND NEW 4X14	10/16/2020 Impr-L	88337-0	\$4,000.00	\$120.00
266							
Kevin C King & Joseph M O'Lo	2616 S. Grove Avenue	16-30-305-025-0000	INSTALLING 16X7 PARTY DOOR FOR ALLEY WAY ACCESS ON THE WEST SIDE OF THE GARAGE. CUT OUT EXISTING WALL TO DO SO	10/16/2020 Impr-L	88338-0	\$3,500.00	\$170.00
267							
Alfonzo & Maria Munoz	3812 S. Oak Park Avenue	16-31-331-021-0000	FURNISH AND INSTALL 16X6'3" OVERHEAD GARAGE DOOR WITH ALL NEW TRACKS AND HARDWARE. REHOOK EXISTING OPENER. REMOVE EXISTING DOOR. NO CHANGE TO EXISTING OPENER	10/16/2020 Impr-L	88339-0	\$1,052.00	\$40.00
268							
Jose & Cristina Guerrero	3429 S. Clarence Avenue	16-31-233-014-0000	REMOVING AND REPLACING WINDOWS (7 TOTAL), 2 ON THE 1ST FLOOR BEDROOM, 2 ON THE 1ST FLOOR LIVING ROOM, 2 IN THE HALLWAY/STAIR CASE LEADING TO 2ND FLOOR, 1 IN THE UPSTAIRS BATHROOM. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	10/16/2020 Impr-L	88340-0	\$1,200.00	\$90.00
269							
M. Ortega & E. Leanos	2627 S. Clinton Avenue	16-30-304-048-0000	TEAR OFF AND REROOF ON THE HOUSE. REPLACING ALUMINUM SIDING WITH VINYL SIDING (ON THE GARAGE), REPLACING GUTTERS AND DOWNSPOUTS.	10/16/2020 Impr-L	88341-0	\$9,326.00	\$200.00
270							
Santiago Bandera	3819 S. Cuyler Avenue	16-32-325-022-0000	TEAR OFF AND REROOF ON THE HOUSE WITH SHINGLES, SYNTHETIC FELT PAPER, ICE AND WATER SHIELD, REPLACING GUTTER AND DOWNSPOUTS (GARAGE)	10/16/2020 Impr-L	88342-0	\$8,694.00	\$185.00
271							



# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
272 Norbert Wojnowica 3632 S. Cuyler Avenue	16-32-308-021-0000	R	10/16/2020 Elec-L	88343-0	\$2,000.00	\$140.00
REPLACE FUSE BOX BREAKER PANEL. INSTALL GFCI'S WHERE REQUIRED, INSTALL 2 OUTLETS FOR WORK BENCH LIGHTS, TROUBLESHOOT/REPAIR ANY NON-WORKING LIGHTS, REPLACE ALL EXPOSED BX WITH EMT IN BASEMENT, SERVICE TO REMAIN 100AMPS.						
272 Arnida De Jesus 1400 S. Highland Avenue	16-20-116-021-0000	R	10/16/2020 Impr-L	88344-0	\$31,850.00	\$540.00
INSTALL ROOF MOUNTED SOLAR PVC SYSTEM - 40 PANELS - UPGRADE ELECTRICAL SERVICE 200AMP.						
273 Kimberlee A. & Kristen M. New 6935 W. 35th Street	16-31-133-016-0000	R	10/16/2020 Roof-L	88345-0	\$7,325.00	\$170.00
TEAR OFF AND RESHINGLE THE HOUSE AND GARAGE. R/R GUTTERS ON HOUSE & GARAGE TO CODE. DOWNSPOUTS MUST DISBURSE ONTO PRIVATE PROPERTY.						
274 US BANK N.A. 3639 S. Wesley Avenue	16-31-410-009-0000	R	10/16/2020 Impr-L	88346-0	\$82,067.30	\$1,930.00
INTERIOR REMODEL - 1ST FLOOR WILL INCLUDE KITCHEN, DINING ROOM, LIVING ROOM, EXISTING FULL BATHROOM, 1 EXISTING BEDROOM AND OFFICE, 2ND FLOOR WILL CONSIST OF RECREATIONAL ROOM, EXISTING FULL BATHROOM, 2 EXISTING BATHROOMS. BASEMENT WILL UNFINISHED WITH LA						
275 Alvaro Hernandez 2632 S. Harvey Avenue	16-29-302-032-0000	R	10/16/2020 Impr-L	88347-0	\$11,000.00	\$425.00
BASEMENT REMODEL- FRAMING, INSULATION, RECESSED LIGHTS, TRIM PAINTING.						
276 Mohammed F. Hussain 2308 S. Gunderson Avenue	16-30-213-020-0000	R	10/19/2020 Bldg-B	9461-2	\$0.00	\$50.00
FINAL PLUMBING REINSPECTION - INTERIOR REMODELING. REMODEL THE 1ST FLOOR BATHROOM AND KITCHEN. R/R WINDOWS AND BRING TO WINDOWS TO EGRESS CODE WHERE REQUIRED/BOILERS TO FORCED AIR WITH NEW FURNACE, A/C UNIT AND DUCTWORK. FINISH THE BASEMENT TO INCLUDE N						
277 Joseph A. & Patricia A. Pontrell 1218 S. Maple Avenue	16-19-100-026-0000	R	10/19/2020 Roof-L	88348-0	\$3,300.00	\$125.00
REPLACING FLAT ROOF WITH TORCH DOWN BITUMAN, 1/2" INSULATION, INSTALLING FLASHING, REPLACING VENT COVERS, APPLYING ONE COAT OF SILVER COATINGS ON ALL ROOFING FOR PROTECTION.						
278						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Description	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Ferrin & Carmen Rodriguez 2711 S. Wesley Avenue	16-30-408-006-0000	REMODEL BATHROOM-REPLACING TUB WITH BASE, SINK VANITY, NEW BATHROOM SHOWER DOOR, SLATE SHOWER WALLS, GREEN BOARD (5PC), REG BOARD (2PC).	R	10/19/2020 Impr-L	88349-0	\$0.00	\$140.00
279 Gilberto Sosa & Leticia Urbe 2716 S. Clarence Avenue	16-30-408-027-0000	COMPLETE TEAR OFF AND NEW ROOF, ICE AND WATER SHIELD, FELT PAPER, NEW VENTS AND PIPE JACKS. HOSUE AND GARAGE	R	10/19/2020 Roof-L	88350-0	\$8,200.00	\$185.00
280 Paul Michaud 3609 S. Wisconsin Avenue	16-31-310-003-0000	REROOF THE HOUSE AND GARAGE WITH SHINGLES AND REROOF THE FLAT ROOF SECTION WITH MOD BIT.	R	10/19/2020 Roof-L	88351-0	\$6,000.00	\$140.00
281 Doritila Torres 1510 S. Cuyler Avenue	16-20-123-024-0000	NEW 1" WATER SERVICE FROM MAIN TO INSIDE FRONT WALL OF BASEMENT. NEW WATER SERVICE MUST BE 10' AWAY FROM THE EXISTING SERVICE.	R	10/19/2020 Impr-L	88352-0	\$8,400.00	\$1,695.00
282 Oscar F. Troncoso Aguilar 2124 S. Home Avenue	16-19-327-020-0000	TEAR OFF AND RESHINGLE THE HOUSE.	R	10/19/2020 Roof-L	88353-0	\$2,000.00	\$125.00
283 Santiago & Alicia Reynoso 2227 S. Clinton Avenue	16-30-102-017-0000	INSTALLING NEW 1" WATER SERVICE TO HOUSE.	R	10/19/2020 Impr-L	88354-0	\$7,000.00	\$250.00
284 Martin, Pascuala & Gammalier H 1408 S. Cuyler Avenue	16-20-115-024-0000	REMOVING AND REPLACING 3 TOTAL WINDOWS IN THE 2ND FLOOR BEDROOMS AND BASEMENT FAMILY ROOM. WILL BE REMOVING AND REPLACING CONCRETE ON THE GARAGE APRON TO THE ALLEY. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	R	10/19/2020 Impr-L	88355-0	\$2,000.00	\$90.00
285 Matt Construction Group Inc. 2710 S. Harvey Avenue	16-29-310-024-0000	INTERIOR DEMO IN THE BASEMENT TO THE STUDS ONLY. DUMPSTER FOR ANY GARBAGE/DEBRIS. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.		10/19/2020 Impr-L	88356-0	\$1,500.00	\$90.00
286 Hugo & Maria Montes 1918 S. Home Avenue	16-19-319-023-0000	UPGRADE ELECTRICAL SERVICE TO 100 AMP, REPLACE VISIBLE CLOTH WIRING.	R	10/19/2020 Elec-L	88357-0	\$2,500.00	\$155.00
287							

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: <u>10/11/2020</u>	And <u>10/31/2020</u>	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
288	Gerri Lynn Estvanik & Julie M. 1427 S. Maple Avenue	16-19-117-011-0000			R	10/20/2020 Bldg-B	9542-1	\$0.00	\$65.00
	Family Construction & Manage 3319 S. Clarence Avenue	16-31-224-034-0000			R	10/20/2020 Impr-L	81406-1	\$0.00	\$50.00
289	Juan Carlos & Miriam Morales 3617 S. Harvey Avenue	16-32-311-040-0000			R	10/20/2020 Impr-L	87262-1	\$0.00	\$100.00
290	Ariel Bolles & Spencer Ham 3432 S. Grove Avenue	16-31-134-024-0000			R	10/20/2020 Dump-L	88358-0	\$0.00	\$50.00
291	Ana C. Aranda 3708 S. Grove Avenue	16-31-322-018-0000			R	10/20/2020 Elec-L	88359-0	\$1,599.00	\$140.00
292	Benjamin & Cheryl Cordova 6939 W. 30th Street	16-30-318-024-0000			R	10/20/2020 Fence-L	88360-0	\$4,100.00	\$135.00
293	Michael S. Fagan & Bridget A. 2741 S. Oak Park Avenue	16-30-406-017-0000			R	10/20/2020 Impr-L	88361-0	\$9,200.00	\$250.00
294	Morales & Gonzales 6423 W. 32nd Street	16-31-210-016-0000			R	10/20/2020 Impr-L	88362-0	\$4,000.00	\$135.00
295	Joyce L. Colton & Louis M. We 1645 S. Wenonah Avenue	16-19-303-020-0000			R	10/20/2020 Impr-L	88363-0	\$1,200.00	\$40.00

(Building: Permit\_County\_All)

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #			Census Class	Permit Issued	Permit #	Improvements	Permit	Cost Of
Vansay Chanthavong	1920 S. Wenonah Avenue	16-19-318-023-0000	TEAR OFF AND RESHINGLE THE HOUSE AND GARAGE.	R	10/20/2020 Roof-L	88364-0	\$13,950.00	\$260.00	
297									
A. & D. Ramos	1245 S. East Avenue	16-19-204-019-0000	JOB STOP - REPAIR WORK ON NORTH BOTTOM STAIRS - SPOT TUCKPOINT ON THE SOUTH STAIRS, BUILD A 4" BLOCK WALL IN THE BASEMENT.	R	10/20/2020 Impr-L	88365-0	\$4,200.00	\$85.00	
298									
Kimberly Deemo	7042 W. 26th Parkway	16-30-301-011-0000	R/R BOILER Boilers must have an isolation valve installed on the supply and return	R	10/20/2020 HVAC-L	88366-0	\$5,000.00	\$200.00	
299									
Manuel & Veronica Jimenez	6835 W. 31st Street	16-30-326-019-0000	R/R FURNACE AND CHIMNEY LINER	R	10/20/2020 HVAC-L	88367-0	\$4,200.00	\$215.00	
300									
Martha P. Almanza	1501 S. Elmwood Avenue	16-19-231-001-0000	TEAR OFF AND RESHINGLE THE HOUSE.	R	10/20/2020 Roof-L	88368-0	\$2,500.00	\$125.00	
301									
NOVA HURST	1911 S. Cuyler Avenue	16-20-322-004-0000	DRAIN TILE INSTALLATION INTERIOR, WILL BE DISCHARGING TO THE REAR OF THE HOUSE.	R	10/20/2020 Impr-L	88369-0	\$8,500.00	\$345.00	
302									
William Zaloudek	1916 S. Gunderson Avenue	16-19-421-019-0000	GRIND OUT AND TUCKPOINT THE NORTH & SOUTH WALLS, AT THE SOUTH CHIMNEY GRIND OUT AND TUCKPOINT, NORTH AND SOUTH LOWER CORNERS GRIND OUT AND TUCKPOINT AND R/R SPALLED BRICKS.	R	10/20/2020 Impr-L	88370-0	\$6,460.00	\$190.00	
303									
Saul Zarco	2448 S. Wesley Avenue	16-30-217-035-0000	REMOVING AND REPLACING SHINGLES ON THE GARAGE ROOF ONLY	R	10/20/2020 Roof-L	88371-0	\$500.00	\$40.00	
304									
WM. Hosma Trust	3813 S. Maple Avenue	16-31-325-005-0000	VINYL SIDING- TYVEK INSULATION AND SIDING. SIDING WILL BE GOING OVER EXISTING SIDING. OIL BASED SIDING.	R	10/20/2020 Impr-L	88372-0	\$8,200.00	\$195.00	
305									
Ben & Jessica Belmares	3626 S. Harvey Avenue	16-32-310-021-0000	REMOVE GUTTERS, INSTALL LEAFGUARD, DOWNSPOUTYS MUST DRAIN TO PRIVATE PROPERTY.	R	10/20/2020 Impr-L	88373-0	\$10,266.00	\$225.00	
306									
Raul Valle	2435 S. Highland Avenue	16-29-118-014-0000	REPLACING RAILING ON THE FRONT PORCH.	R	10/20/2020 Impr-L	88374-0	\$1,200.00	\$90.00	
307									
Leticia Ayala	2406 S. Scoville Avenue	16-30-220-022-0000	TEAR OFF AND RESHINGLE THE HOUSE.	R	10/20/2020 Roof-L	88375-0	\$3,800.00	\$125.00	
308									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/1/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Lisa, Fernando F. & Fernando		2216 S. Scoville Avenue	16-30-204-025-0000	SPOT TUCKPOINT THE FRONT AND SIDES OF THE BUILDING. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED. - SOPT TUCKPOINT THE GARAGE	R	10/20/2020 Impr-L	88376-0	\$600.00	\$40.00
Abraham Pulido		1608 S. Scoville Avenue	16-19-404-023-0000	BOILERS TO FORCED AIR WITH NEW FURNACE, DUCTWORK AND A/C UNIT - ROUGH & FINAL HVAC INSPECTION WERE PAID ON PERMIT B-9579-0. ONLY PAYING FOR PERMIT FEES AND HYDRONIC DE CONVERSATION INSPECTION	R	10/21/2020 Bldg-B	9611-0	\$10,150.00	\$175.00
Maria T. Del Rio		1505 S. Euclid Avenue	16-19-225-002-0000	ATF OF BASEMENT REMODEL - BASEMENT IS FINISHED WITH 1 NEW FULL BATHROOM, 1 NEW BEDROOM, LAUNDRY ROOM, MECHANICAL ROOM AND OPEN RECREATIONAL SPACE - WINDOWS TO EGRESS CODE - DECONVERT BASEMENT KITCHEN, CAP ALL PIPES BACK AT THE SOURCE. -- ATF FOR ATTIC REM	R	10/21/2020 Bldg-B	9612-0	\$10,000.00	\$785.00
J J Stallman		1637 S. Scoville Avenue	16-19-405-018-0000	DUMPSTER ON THE STREET TO REMOVE ROOFING DEBRIS. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMING TRAFFIC.	R	10/21/2020 Dump-L	88323-1	\$0.00	\$50.00
Jairne & Anna Borges		3505 S. Highland Avenue	16-32-302-003-0000	TEAR OFF 3 TAB SHINGLES, DRID EDGE, ICE AND WATER SHIELD, ROOFING FELT, 6 ROOF VENTS, FLASHING PIPE JACK, R/R CHIMNEY FLASHING, R/R FURNACE VENT, R/R ROOF WINDOW STEP FLASHING.	R	10/21/2020 Roof-L	88377-0	\$8,038.00	\$185.00
N. Garcia & C. Onofre		1628 S. Harvey Avenue	16-20-302-030-0000	ROOFTOP SOLAR INSTALLATION 23 MODULES, 5 KW. METER SOCKET MUST BE BROUGHT UP TP CODE.----- MUST HAVE TAP CONNECTORS.	R	10/21/2020 Impr-L	88378-0	\$10,000.00	\$210.00
Theodore Bartkowicz		2416 S. Cuyler Avenue	16-29-116-025-0000	INSTALL 100AMP SERVICE WITH CIRCUIT BREAKERS AND GROUNDS.	R	10/21/2020 Elec-L	88379-0	\$1,600.00	\$40.00
Bob Clements		3524 S. Grove Avenue	16-31-306-049-0000	REMOVING AND REPLACING FENCE ON THE ALLEY SIDE OF THE PROPERTY. NEW FENCE WILL BE 5FT HIGH.	R	10/21/2020 Fence-L	88380-0	\$2,550.00	\$135.00

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit
Christina Arellano 3442 S. Wisconsin Avenue	16-31-129-028-0000	R	10/21/2020 Plum-L	88381-0	\$5,900.00	\$350.00
William J Kareiva Trust 6901 W. 34th Street	16-31-125-038-0000	R	10/21/2020 Fence-L	88382-0	\$4,400.00	\$135.00
Matthew & Kimberly Klinger 3211 S. East Avenue	16-31-212-010-0000	R	10/21/2020 Impr-L	88383-0	\$250.00	\$0.00
JAIIME & LILIANA TORRES 6227 W. Roosevelt Road	16-20-102-009-0000	C	10/21/2020 Impr-L	88384-0	\$2,500.00	\$40.00
Jose Luis Bravo Zumba 2828 S. Highland Avenue	16-29-317-032-0000	R	10/21/2020 HVAC-L	88385-0	\$4,555.00	\$115.00
Susan Weber 6337 S. Roosevelt Road 306	16-20-100-038-1015		10/21/2020 Impr-L	88386-0	\$5,751.00	\$150.00
Alberto Montes 6455 W. 28th Street	16-30-411-069-0000	R	10/21/2020 Roof-L	88387-0	\$8,000.00	\$170.00
Jose & Deia Godinez 3832 S. Wisconsin Avenue	16-31-325-025-0000	R	10/21/2020 Impr-L	88388-0	\$6,000.00	\$100.00
Victor Anaya 2849 S. Highland Avenue	16-29-318-019-0000	R	10/21/2020 Impr-L	88389-0	\$1,358.00	\$40.00
Dispongse Moun-ngam 1820 S. Elmwood Avenue	16-19-414-054-0000	R	10/21/2020 HVAC-L	88390-0	\$11,088.00	\$200.00
Sharon Shroyer 3413 S. Wenonah Avenue	16-31-131-007-0000	R	10/21/2020 Impr-L	88391-0	\$1,820.00	\$90.00
327						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
LANDON PROPERTIES GRO 1849 S. Harvey Avenue	16-20-311-018-0000	R	10/22/2020 Bldg-B	9406-2	\$0.00	\$65.00
BUILDING FINAL REINSPECTION -- 2ND FLOOR ADDITION WITH 2 NEW BEDROOMS, 1 NEW BATH, 1ST FLOOR KITCHEN, LIVING ROOM, DINING ROOM, 2 EXISTING BED, 1 EXISTING FULL BATH, ADDING NEW 1/2 BATH BASEMENT FINISHED WITH EXISTING BATH, NEW BEDROOM, LAUNDRY, MECHANICAL						
328 Branislava Radenkovic 2516 S. Gunderson Avenue	16-30-229-018-0000	R	10/22/2020 Bldg-B	9519-1	\$0.00	\$50.00
ELECTRICAL FINAL REINSPECTION -- COMPLIANCE VIOLATIONS, REPAIR FRONT PARAPET WALLS, ALL CLOSET, PANTRY, & STORAGE LIGHTS COMPLETELY ENCLOSED LAMPS. 1ST FLR BEDROOM LIGHT REPAIR. ALL BEDROOM REQUIRE 2 SEPARATE OUTLETS, GFCI OUTLETS KITCHEN COUNTER, BATHROOM						
329 Michael O'Donoghue 3845 S. Wesley Avenue	16-31-422-026-0000	R	10/22/2020 Elec-L	88283-1	\$0.00	\$50.00
ELECTRICAL FINAL AND SERVICE RE-INSPECTION FEE----- UPGRADE ONE METER ELECTRIC SERVICE ENTRANCE TO 100 AMP						
330 Kimberlee A. & Kristan M. New 6935 W. 35th Street	16-31-133-016-0000	R	10/22/2020 Roof-L	88345-1	\$0.00	\$50.00
DUMPSTER FOR NAY GARBAGE/DEBRIS. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.						
331 Maurie Velasquez 2227 S. Scoville Avenue	16-30-205-013-0000	R	10/22/2020 Impr-L	88392-0	\$7,389.00	\$220.00
TEAR OFF 4 LAYERS OF MEMBRANE ON THE HOUSE, REMOVE COPING, RE-INSTALL AFTER INSTALLATION, INSTALL NEW PEAL AND STICK MODIFY BASE WATERPROOF, INSTALLING NEW GALVANIZED GUTTER INCLUDING DOWSPOUT. DUMPSTER FOR ANY GARBAGE. DUMPSTERS/PODS REQUIRE A FLASHING						
332 Christopher & Leah Joy Cybulis 3716 S. East Avenue	16-31-417-042-0000	R	10/22/2020 Impr-L	88393-0	\$400.00	\$240.00
PARTIAL BASEMENT REMODEL FRAMING, DRYWALL, ELECTRICAL. REMOVE WALL IN FRONT OF FURNACE ACCESS						
333 Elsie Ochoa 1311 S. Grove Avenue	16-19-115-006-0000	R	10/22/2020 Impr-L	88394-0	\$8,300.00	\$135.00
INSTALLING 2 SLIDING DOORS AT THE REAR ON THE ALLEY SIDE OF THE PROPERTY 6FT. WILL INSTALL A GATE AT THE ALLEY 6FT. IN FRONT OF THE PROPERTY 5FT+1FT OPEN LATTICE. WILL HAVE OWN POSTS						
334						



# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Permit	Cost Of	Cost Of	
G & C Kuhn 3726 S. Clinton Avenue	16-31-320-028-0000	R	10/22/2020 Impr-L	88395-0	\$11,418.00		\$440.00		
335 Steve & Candice & Melba Lobo 3219 S. Ridgeland Avenue	16-32-111-013-0000	R	10/22/2020 Impr-L	88396-0	\$13,231.00		\$420.00		
336 Anthony Pignataro & Andres M 2235 S. Grove Avenue	16-30-104-018-0000	R	10/22/2020 Impr-L	88397-0	\$14,676.00		\$285.00		
337 Andrea Astudillo 1828 S. Harvey Avenue	16-20-310-024-0000	R	10/22/2020 Roof-L	88398-0	\$5,000.00		\$125.00		
338 Royal Development & Manage 1241 S. Elmwood Avenue	16-19-207-023-0000	R	10/22/2020 Impr-L	88399-0	\$2,500.00		\$605.00		
339 Roman & Martha Ruiz 2622 S. Clinton Avenue	16-30-303-052-0000	R	10/22/2020 Roof-L	88400-0	\$10,745.00		\$215.00		
340 Loyola University Health Syste 3249 S. Oak Park Avenue	16-31-215-016-0000	C	10/22/2020 Impr-L	88401-0	\$9,995.00		\$210.00		
341 Charles E. Evans & Lois E. Eva 1908 S. Maple Avenue	16-19-316-022-0000	R	10/22/2020 Impr-L	88402-0	\$9,190.00		\$250.00		
342 Jose H. Hernandez 1305 S. Gunderson Avenue	16-19-214-003-0000	R	10/22/2020 Elec-L	88403-0	\$3,500.00		\$120.00		
343									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Saul Zarco 6903 W. 26th Street	16-30-115-037-0000	R	10/23/2020 Bldg-B	9344-1	\$0.00	\$50.00
PAYING FOR ATF PLUMBING INSPECTION-----DECONVERT BASEMENT KITCHEN RETURN ALL PLUMBING TO SOURCE-AFTER THE FACT PERMIT FOR BASEMENT SHOWER ADDED TO POWDER ROOM						
Oscar Martinez & Theresa Mart 1325 S. Grove Avenue	16-19-115-013-0000	R	10/23/2020 Impr-L	88405-0	\$1,000.00	\$90.00
NEW CONCRETE TO BE POURED AROUND 2 EXISTING GARAGES. NO PARKING ON NEW CONCRETE.						
345 Teresa Ayala 3642 S. Oak Park Avenue	16-31-315-037-0000	R	10/23/2020 Impr-L	88406-0	\$1,000.00	\$40.00
REMOVING AND REPLACING GARAGE OVERHEAD DOOR. SIZE FOR SIZE. NO NEW ELECTRICAL						
346 Alfredo & Consuelo Rodriguez 1826 S. Scoville Avenue	16-19-412-030-0000	R	10/23/2020 Fence-L	88407-0	\$1,800.00	\$40.00
R/R WOOD FENCE IN SAME LOCATION.						
347 Tony L. & Angela S. Williams 1214 S. Maple Avenue	16-19-100-024-0000	R	10/23/2020 Roof-L	88409-0	\$14,171.00	\$275.00
REMOVE EXISTING ROOFING, SUPPLY AND INSTALL MODIFIED BITUMEN ROOFING, SUPPLY AND INSTALL PIPE JACK FLASHING, SUPPLY AND INSTALL CHIMNEY FLASHING, SUPPLY AND INSTALL BASE SHEET, SUPPLY AND INSTALL INSULATION.						
348 Jose & Maria Gonzalez 3841 S. Harvey Avenue	16-32-327-019-0000	R	10/23/2020 Fence-L	88410-0	\$3,000.00	\$135.00
ON THE SOUTH SIDE OF THE PROPERTY INSTALL A 5FT FENCE FROM THE END OF THE HOUSE TO THE ALLEY AND ALONG THE ALLEY. INSTALL A 5FT FENCE TOWARDS THE FRONT OF THE PROPERTY ON THE SOUTH SIDE (MUST BE 15FT FROM THE FRONT LOT LINE) FROM THE END OF THE HOUSE TO T						
349 Magaly Alonzo 1345 S. Wenonah Avenue	16-19-111-047-0000	R	10/23/2020 Roof-L	88411-0	\$500.00	\$40.00
TEAR OFF AND RESHINGLE THE GARAGE.						
350 Enrique Escutia 1643 S. Highland Avenue	16-20-302-016-0000	R	10/23/2020 Roof-L	88412-0	\$5,700.00	\$140.00
REMOVE AND REPLACE SHINGLE ROOF ON THE HOUSE AND GARAGE, ICE AND WATER SHIELD, NEW ROOF VENTS, PIPE JACK CHIMNEY FLASHING, FELT						
351						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/11/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Rolando Palacios 1928 S. Grove Avenue	16-19-322-024-0000	R	10/23/2020 Elec-L	88413-0	\$4,900.00	\$385.00
INSTALL SMOKE DET IN ALL 4 UNITS, FRONT AND BACK STAIRWAY, INSTALL CARBON MONOXIDE DET, REPAIR BEDROOM FAN, REPLACE CLOSET LIGHTS, REPLACE GFCI OUTLETS, REMOVE ALL EXTENSION CORDS IN ALL APARTMENTS, INSTALL EXIT LIGHTS AND REPAIR ELECTRICAL PANEL						
352 ERICK MENDOZA & DIANA A 3702 S. Highland Avenue	16-32-317-010-0000	R	10/23/2020 Impr-L	88414-0	\$1,300.00	\$90.00
POURING NEW CONCRETE ON THE NORTH SIDE OF THE PROPERTY (STREET SIDE) FROM FRONT OF THE HOUSE TO THE REAR OF HOUSE. CONCRETE MUST PITCH TO OWN PROPERTY.						
353 Joshua & Sarah Bielecki 3305 S. Wesley Avenue	16-31-223-003-0000	R	10/23/2020 Impr-L	88415-0	\$6,400.00	\$115.00
TEAR OFF AND RESHINGLE THE GARAGE AND R/R GUTTERS & DOWNSPOUTS. DOWNSPOUTS MUST DISBURSE ONTO PRIVATE PROPERTY.						
354 BLACK GOLD PROPERTIES L 1627 S. East Avenue	16-19-404-012-0000	R	10/26/2020 Bldg-B	9291-1	\$0.00	\$250.00
PAYING FOR PLUMBING UNDERGROUND PVC INSTALLATION HEAD TEST AND BEDDING, GAS PRESSURE TEST AND CHLOROLY INSPECTION.						
355 Daniel Aguayo 2817 S. Ridgeland Avenue	16-29-316-009-0000	R	10/26/2020 Gar-B	9613-0	\$13,000.00	\$300.00
ADDING NEW 20X24 GARAGE WITH 16FT HEIGHT.						
356 JUAN PINON 2621 S. Wesley Avenue	16-30-402-014-0000	R	10/26/2020 Bldg-B	9614-0	\$30,000.00	\$1,140.00
R/R BRICK AT FRONT OF HUSE TO CODE, COMPLIANCE VIOLATIONS, DEMO BASEMENT CEILING NOT REPLACING, INSTALL NEW DRYWALL IN THE BASEMENT TO MAKE MAKE OPEN AREA, STORAGE ROOM, LAUNDRY AND MECHANICAL AREA WITH WINDOWS TO EGRESS CODE, DEMO A WALL COMPLETELY IN TH						
357 Thomas Head 2225 S. Oak Park Avenue	16-30-200-023-0000	C	10/26/2020 Impr-L	88153-1	\$0.00	\$100.00
PAYING FOR PLUMBING DECONVERT (2) INSPECTIONS ONLY, ATF REMODEL OF THE 2ND LEVEL BATHROOM. -- DECONVERT 1ST FLOOR AND BASEMENT BATHROOM. -- ALL PIPES MUST BE CAPPED BACK AT THE SOURCE.						
358						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

		Between: <u>10/1/2020</u> And <u>10/31/2020</u>							
Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of	Permit	Cost Of	Permit
Urszula & Julia K. Kieler 2426 S. East Avenue	16-30-219-023-0000	R	10/26/2020 Imp-r-L	88416-0	\$11,650.00	\$615.00			
REMOVE CURB & POUR NEW DRIVEWAY CURB. INSTALL NEW DRIVEWAY ON CITY PROPERTY. INSTALL DRIVEWAY RIBBONS TO EXISTING PARKING SLAB.									
359 Adolf Vega Trust 2829 S. Ridgeland Avenue	16-29-316-015-0000	R	10/26/2020 Imp-r-L	88417-0	\$0.00	\$0.00			
INTERIOR DEMO AND FRAMING OF THE BASEMENT ONLY.									
360 Timothy & Maria Yolanda Wirtz 6918 W. 30th Place	16-30-325-013-0000	R	10/26/2020 Imp-r-L	88418-0	\$5,000.00	\$660.00			
GUT RENOVATION OF MAIN FLOOR BATHROOM. EXISTING CAST-IRON PLUMBING STYACK TO BE REMOVED AND REPLACED WITH PVC. CONNECTION TO EXISTING TO BE ESTABLISHED JUST ABOVE BASEMENT FLOOR BY A FERINCO COMPRESSION DONUT. EXISTING GALVANIZED WATER PIPING TO BE REPLACE									
361 Tony Sinacore 3812 S. Harvey Avenue	16-32-326-049-0000	R	10/26/2020 Dump-L	88419-0	\$0.00	\$50.00			
DUMPSTER FOR ROOFING DEBRIS									
362 Cuyler-Cermak Bldg LLC 6318 W. Cermak Road	99-99-999-000-0626		10/26/2020 Dump-L	88420-0	\$0.00	\$50.00			
CLEAN OUT STORAGE/LEFTOVER BELONGINGS. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.									
363 Linda Ramos 3611 S. Home Avenue	16-31-304-022-0000	R	10/26/2020 Roof-L	88421-0	\$8,998.00	\$185.00			
ROOF REPLACEMENT HOUSE AND GARAGE, REMOVE AND REPLACING GUTTERS AND DOWNSPOUTS, ICE AND WATER SHIELD AND FELT PAPER.									
364 Herlino Ruiz 1848 S. Clinton Avenue	16-19-312-040-0000	R	10/26/2020 Roof-L	88422-0	\$7,500.00	\$170.00			
TEAR OFF EXISTING ROOF LAYER FROM HOUSE, INSTALL ICE AND WATER SHIELD 3FT ALONG EDGE OF ROOF VALLEY, CHIMNEY, SYNTHETIC FELT, ARCHITECTURAL SHINGLES, NEW MUSHROOM VENTS, NEW FLASHING ON CHIMNEY.									
365 Juan J. Fernandez 2335 S. East Avenue	16-30-212-012-0000	R	10/26/2020 Imp-r-L	88423-0	\$2,820.00	\$85.00			
INSTALL 50 GALLON HOT WATER HEATER, TANK IS CURRENTLY MALFUNCTIONING DUE TO AGE AND LEAKING WORK IS URGENT.									
366									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit
Adolf Vega Trust 2829 S. Ridgeland Avenue	16-29-316-015-0000	R	10/26/2020 Fence-L	88424-0	\$3,903.00	\$135.00
REMOVING AND REPLACING FENCE ON THE SOUTH SIDE OF THE PROPERTY FROM THE REAR OF THE HOUSE TO THE ALLEY. FENCE WILL BE FT+1FT OPEN LATTICE. HAS NEIGHBOR PERMISSION FROM 2831 RIDGELAND. JULIE DIG # A3002247						
367 Steven E. Jimenez 3721 S. Home Avenue	16-31-320-009-0000	R	10/26/2020 Fence-L	88425-0	\$7,168.00	\$135.00
INSTALL A 5FT FENCE. FENCE CAN RUN UP ALONG THE NORTH SIDE OF THE PROPERTY, BETWEEN THE HOUSE 10FT ONLY. INSTALL A 5FT HIGH FENCE ON THE SOUTH SIDE OF THE PROPERTY FROM END OF THE HOSUE TO THE ALLEY. INSTALL NEW FENCE ALONG ALLEY ON BOTH SIDES OF THE GARA						
368 Alejandro Garcia 3604 S. Cuyler Avenue	16-32-308-038-0000	R	10/26/2020 Impr-L	88426-0	\$3,500.00	\$470.00
ATF-COMPLETE KITCHEN REMODEL NEW ISLAND TO INCLUDE GAS COOK TOP AND DISHWASHER AND WATER SUPPLY BUILT IN OVENS, ATF FOR 2ND FLOOR BATHROOM REMODEL, CERAMIC TILE BASE AND WALLS, FLOOR PITCH MUST BE CORRECTED TO CODE. INSTALLING SMOKE DETECTORS AND CARBON M						
369 Jeff & Jackie Dahlgren 1923 S. Wisconsin Avenue	16-19-318-009-0000	R	10/26/2020 Impr-L	88427-0	\$1,500.00	\$90.00
R/R 2 WINDOWS. BSMT (1) & ATTIC (1). R/R GARAGE SERVICE DOOR SAME SIZE SAME LOCATION.						
370 South Berwyn School District 6539 W. 26th Street	16-30-228-020-0000		10/26/2020 Impr-L	88428-0	\$12,000.00	\$190.00
EXISTING WIRELESS ANTENNA FACILITY (ROOFTOP CHIMNEY). SWAPPING OUT THREE (3) EXISTING ANTENNA FOR SIX (6) NEW ANTENNAS. RECONFIGURING RELATED RADIO EQUIPMENT, UPGRADING GROUND EQUIPMENT WITHIN TMOBILES EXISTING LEASE SPACE.						
371 Omar Pimental 3124 S. Clinton Avenue	16-31-104-023-0000	R	10/26/2020 Impr-L	88429-0	\$10,000.00	\$360.00
KITCHEN REMODEL CABINETS AND FLOORING, BATHROOM REMODEL TILE TUB AND FIXTURES, 13 NEW WINDOWS TO BE INSTALLED, GFCI OUTLETS IN KITCHEN BATHROOM AND LAUNDRY. ATTIC AND GARAGE ELECTRIC UP TP CODE.						
372						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Cost Of Improvements	Cost Of Permit
Asif Mohammed 2704 S. Euclid Avenue	16-30-406-021-0000	R	10/27/2020 Bldg-B	9195-4	\$0.00	\$50.00
PAYING FOR RESTORATION RE-INSPECTION.-----COMPLETE INTERIOR REMODEL - 1ST WILL HAVE KITCHEN, 1/2 BATH, 1 BEDROOM, LIVING ROOM AND DINING ROOM, 2ND WILL HAVE 3 NEW BEDROOMS AND 2 NEW BATHROOMS WITH WINDOWS TO EGRESS CODE. BASEMENT WILL BE FINISHED WITH						
373 Mr. Acevedo 2305 S. Ridgeland Avenue	16-29-108-003-0000	R	10/27/2020 Bldg-B	9418-1	\$0.00	\$65.00
HVAC FINAL REINSPECTION - IN BSMT BEDROOM, BATHROOM AND LAUNDRY INSTALL BASEBOARD HEATER. FINISH THE BASEMENT TO INCLUDE EXISTING BATHROOM, NEW BEDROOM, LAUNDRY & MECHANICAL ROOM. FINISH W/ NEW DRYWALL, INSULATION, FRAMING, ELECTRIC, PLUMBING. R/R FURNACE						
374 Berwyn Gateway Partners II, L 7044 W. Cermak Road	16-19-326-027-0000	C	10/27/2020 Bldg-B	9565-1	\$0.00	\$140.00
PAYING FOR FRAMING RE-INSPECTION-----INTERIOR BUILDOUT FOR CELL PHONE REPAIR STONE. 1 NEW BATHROOM, INSTALL NEW DUCT DISTRIBUTION TO EXISTING RTU AND NEW ACT CEILING THROUGHOUT. DEMISING WALLS WILL REMAIN. -ALL WORK						
375 Cindy Roman & Veronica Rom 2712 S. Highland Avenue	16-29-309-025-0000	R	10/27/2020 Gar-B	9615-0	\$25,859.00	\$325.00
DEMO & REBUILD GARAGE 24' X 20' X 12.25'.						
Erka I. Antilla 1416 S. Oak Park Avenue	16-19-123-025-0000	R	10/27/2020 Gar-B	9616-0	\$25,942.00	\$325.00
DEMO & REBUILD GARAGE 22' X 24' X 12.58' (H).						
377 US BANK N.A. 3639 S. Wesley Avenue	16-31-410-009-0000	R	10/27/2020 Impr-L	88346-1	\$0.00	\$115.00
PRELIMINARY PLUMBING INSPECTION AND BUILDING INSPECTION TO DETERMINE WHAT NEEDS TO BE BROUGHT UP TO CODE.						
378 Adolf Vega Trust 2829 S. Ridgeland Avenue	16-29-316-015-0000	R	10/27/2020 Impr-L	88430-0	\$0.00	\$0.00
INTERIOR DEMO OF THE BASEMENT AND 1ST FLOOR. FRAMING OF THE BASEMENT ONLY.						
379 Robert Tita & Polly Smith 2847 S. Wenonah Avenue	16-30-311-013-0000	R	10/27/2020 Impr-L	88431-0	\$950.00	\$40.00
FASCIA REPLACE ON WEST SIDE OF GARAGE						
380 Frank Zahrobsky 2327 S. Clinton Avenue	16-30-106-011-0000	R	10/27/2020 Impr-L	88432-0	\$9,358.00	\$200.00
TEAR OFF AND RE-ROOF ON THE HOUSE, INSTALL ICE AND WATER SHIELD, DRIP EDGE						
381						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/11/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Philip Kagebein 2117 S. Wesley Avenue		16-19-426-006-0000	ADD 4 EM LIGHTS, 5 OUTLETS, 200 A SERVICE, 4 METER SOCKETS AND ADD ONE 100 A PANEL FOR PUBLIC AREA.	R	10/27/2020 Elec-L	88433-0	\$6,850.00	\$165.00	
Joseph & Bridget LaPietra 3738 S. Clarence Avenue		16-31-417-037-0000	SPOT PARGE COATING ON SOUTH ELEVATION, SPOT GRINDING AND TUCKPOINTING ON NORTH ELEVATION, SILL CAULKING ON NORTH, SPOT GRINDING AND TUCKPOINTING ON THE WEST ELEVATION 30SQ FT.	R	10/27/2020 Impr-L	88434-0	\$2,775.00	\$55.00	
383 3120 S. Oak Park LLC, 3118-20 S. Oak Park Avenue		16-31-107-027-0000	REPLACE BUILDIGN MTER, REPLACE 1 1/2 IN GATE VALVE BEFORE THE WATER METER.	C	10/27/2020 Impr-L	88435-0	\$1,487.00	\$765.00	
384 Nepo Redovan 1831 S. Wisconsin Avenue		16-19-310-013-0000	TUCKPOINT COMMON BRICK WALLS AND FACEBRICKS. PLASTER BAD BRICKS.	R	10/27/2020 Impr-L	88436-0	\$1,995.00	\$115.00	
385 John F. Chrasika & Deanna L. 6433 W. Fairfield Avenue		16-31-214-026-0000	TEAR DOWN CHIMNEY REBUIL.D. RESEAL FLASHING. SAME HEIGHT	R	10/27/2020 Impr-L	88437-0	\$2,995.00	\$130.00	
386 Gretchen Peterson 1312 S. Home Avenue		16-19-111-028-0000	INSTALLATION OF RESIDENTIAL SOLAR SYSTEM ON ROOF OF HOME. NEW SERVICE. MUST HAVE TAP CONNECTORS	R	10/27/2020 Impr-L	88438-0	\$6,282.00	\$165.00	
387 YT Properties LLC 3546 S. Kenilworth Avenue		16-31-305-027-0000	TEAR OFF AND REROOF HOUSE AND GARAGE WITH SHINGLES, FELT, ICE AND WATER SHIELD. DUMPSTER FOR ANY GARBAGE /DEBRIS. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.	R	10/27/2020 Roof-L	88439-0	\$11,695.00	\$280.00	
388 Mindy Figueroa 1322 S. Elmwood Avenue		16-19-214-031-0000	R/R HOUSE SIDING TO CODE.	R	10/27/2020 Impr-L	88440-0	\$10,000.00	\$210.00	
389 George Dusatko 3718 S. Kenilworth Avenue		16-31-321-023-0000	R/R BATHROOM VANITY, TOILET AND TILES.	R	10/27/2020 Impr-L	88441-0	\$1,300.00	\$0.00	
390 David A. Rangel 3641 S. Gunderson Avenue		16-31-413-017-0000	COMPLIANCE ATF. ISNTALL GALVANIZED/COPPER OVERFLOW PIPE FOR WATER HEATER. FLEX WATER SUPPLY ON SINKS/TOILETS TO BE SOLID. INSTALL THUMBLATCH FOR EGRESS DOORS. INSTAL 3 PRONG OUTLETS. REPAIR OPEN OUTLET/SWITCHBOX IN FURNACE ROOM. REPAIR GFCI OUTLET IN BAT	R	10/27/2020 Impr-L	88443-0	\$1,500.00	\$290.00	
391									



# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/1/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Raymundo & Elise Cerino		1808 S. Lombard Avenue	16-29-311-022-0000	REMOVE AND REPLACE EXISTING CONCRETE IN THE REAR YARD. CONCRETE WILL BE 8X14.	R	10/27/2020 Impr-L	88444-0	\$500.00	\$90.00
392	Jose Martinez	2844 S. Highland Avenue	16-29-317-038-0000	LAUNDRY FACILITY WAS RELOCATED TO THE BASEMENT REAR PORCH AND MUST BE RETURNED TO ORIGINAL OCATION. DE-CONVERT BATHROOM AND BRING BASEMENT BACK TO UNFINISHED. BASEMENT MUST HAVE AN EGRESS WINDOW INSTALLED TO CODE. REPAIR MAIN LEVEL BATHROOM GFCI ELECTRICA	R	10/27/2020 Impr-L	88445-0	\$5,000.00	\$285.00
393	Benjamin del Toro	1643 S. East Avenue	16-19-404-040-0000	TUCKPOINTING CHIMNEY AS NEEDED	R	10/27/2020 Impr-L	88446-0	\$750.00	\$0.00
394	David Parra	2813 S. Cuyler Avenue	16-29-317-006-0000	COMPLIANCE REPAIRS - CONVERT 2 PRONG OUTLETS INTO 3 PRONG OUTLETS, FULLY ENCLOSE LIGHT FIXTURES IN CLOSETS, STORAGE ROOM, BASEMENT CEILING AND STAIRWAYS, EXTEND DUCTWORK IN TO BATHROOM, AT(F(PREVIOUS OWNER) FOR R/R FURNACE AND WATER HEATER. R/R SIDEWALK FR		10/27/2020 Impr-L	88447-0	\$10,000.00	\$555.00
395	Atlagracia C. Herrera	2432 S. Harvey Avenue	16-29-118-032-0000	T/O & RESHINGLE FRONT AWNING TO CODE.	R	10/27/2020 Impr-L	88448-0	\$400.00	\$50.00
396	ANGELICA REYES	2638 S. East Avenue	16-30-403-033-0000	DECONVERT 2ND LEVEL KITCHEN, REPAIR 1ST TO 2ND FLR INTERIOR STAIRS, REPAIR FRONT EXTERIOR STEPS, DE-CONVERT EXISTING 100A 2 METER PANEL TO 1 METER & 1 PANEL, BRING UP TO CODE ENTIRE HOUSE AND GARAGE.	R	10/27/2020 Impr-L	88449-0	\$4,000.00	\$320.00
397	Asif Mohammed	2704 S. Euclid Avenue	16-30-406-021-0000	PAYING FOR PRE-POUR STREET/SDWLK-----COMPLETE INTERIOR REMODEL - 1ST WILL HAVE KITCHEN, 1/2 BATH, 1 BEDROOM, LIVING ROOM AND DINING ROOM, 2ND WILL HAVE 3 NEW BEDROOMS AND 2 NEW BATHROOMS WITH WINDOWS TO EGRESS CODE.. BASEMENT WILL BE FINISHED WITH LAUN	R	10/28/2020 Bldg-B	9195-5	\$0.00	\$50.00
398									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Ann Marie & Raftaela Zayas 1533 S. Oak Park Avenue	16-19-224-015-0000	R	10/28/2020 Bldg-B	9617-0	\$5,000.00	\$820.00
DRYWALL BASEMENT TO INCLUDE NEW 3/4 BATH, WASHROOM IN BASEMENT, 2 RECREATIONAL ROOM, TOOL ROOM AND MECHANICAL ROOM AND LAUNDRY ROOM AND OPEN RECREATIONAL SPACE. UPGRADE METER TO 3/4						
399 Javier & Maria Soto 1624 S. Wenonah Avenue	16-19-302-028-0000	R	10/28/2020 Impr-L	84931-1	\$0.00	\$50.00
ELECTRICAL FINAL AND ELECTRICAL SERVICE RE-INSPECTIONS-----ROOF TOP INSTALLATION OF PV SOLAR SYSTEM. MUST HAVE TAP CONNECTORS						
400 G. Gavitt 6944 W. 16th Street	16-19-304-004-0000	R	10/28/2020 Fence-L	88311-0	\$5,950.00	\$135.00
INSTALLING 6FT SOLID FENCE ON THE WEST SIDE OF THE PROPERTY FROM FRONT OF THE HOUSE TO THE ALLEY. INSTALLING 6FT SOLID FENCE ON THE SOUTH SIDE OF THE PROPERTY (ALLEY						
401 US BANK N.A. 3639 S. Wesley Avenue	16-31-410-009-0000	R	10/28/2020 Impr-L	88346-2	\$0.00	\$50.00
PRELIMINARY ELECTRICAL INSPECTION TO DETERMINE WHAT NEEDS TO BE BROUGHT UP TO CODE.						
402 Maria Rodriguez 6420 W. 27th Street	16-30-410-063-0000	R	10/28/2020 Roof-L	88450-0	\$9,300.00	\$200.00
RE-ROOF HOUSE AND DETACHED GARAGE. SHINGLES, ICE AND WATER SHIELD.						
403 Miguel Reyes 1806 S. Highland Avenue	16-20-309-018-0000	R	10/28/2020 Impr-L	88451-0	\$9,000.00	\$115.00
HVAC INSTALLATION OF AN AMERICAN STANDARD FURNACE 100,000 BTU 80%, A 3 TON CONDENSOR AND A 3 TON UNCASED COIL. THE GAS LINE AND ELECTRIC LINE WILL BE DONE. EXISTING RADIATORS AND BOILER TO BE REMOVED.						
404 Dusan Bac 2308 S. Wesley Avenue	16-30-209-022-0000	R	10/28/2020 Impr-L	88452-0	\$13,000.00	\$255.00
R/R 19 WINDOWS, FMAIL Y ROOM (5), DINING ROOM (5), 1ST FLR BEDROOMS (3), KITCHEN (7), AND CLOSET (1). BRING WINDOWS TO EGRESS CODE WHERE NEEDED.						
405 Steven J. Cerwin 1332 S. Cuyler Avenue	16-20-107-030-0000	R	10/28/2020 Impr-L	88453-0	\$6,917.00	\$115.00
FURNACE REPLACEMENT 96% EFF 90K BTUS USING EXISTING CHIMNEY LINER						
406 Victor M. & Trinidad Alexander 2108 S. Gunderson Avenue	16-19-429-013-0000	R	10/28/2020 Impr-L	88454-0	\$2,150.00	\$105.00
R/R 3 WINDOWS, 2ND FLR BEDROOM (1) 2ND FLR BEDROOM (2). BRING WINDOWS TO EGRESS CODE WHERE NEEDED.						
407						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Gregory & Olga Kasper 6911 W. 34th Street	16-31-125-034-0000	R	10/28/2020 Impr-L	88455-0	\$2,000.00	\$280.00
DEMO 2 ROOMS ON 1ST FLR. DINING ROOM & LIVING ROOM. REMOVE ALL PLASTER, WOOD, & FLOORING. REPLACE WITH DRYWALL. DUMPSTER ON STREET. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.						
408 Jorge & Maritza Mexquitic 1402 S. Clarence Avenue	16-19-218-023-0000	R	10/28/2020 Impr-L	88456-0	\$2,000.00	\$130.00
INSULATE & DRYWALL PORCH. USING EXISTING LIGHTING & SWITCH. R/R KITCHEN DOOR. R/R EXISTING STAIRS FOR THE ENCLOSED PORCH.						
409 Nancy and Camille Malone 1500 S. Lombard Avenue	16-20-126-021-0000	R	10/28/2020 Roof-L	88457-0	\$21,385.00	\$380.00
T/O & RE-ROOF HOUSE & GARAGE TO CODE. ICE & WATER SHIELD TO CODE. INSTALL FELT UNDERLAYMENT.						
410 R & B Macias 2224 S. Ridgeland Avenue	16-30-207-026-0000	R	10/28/2020 Elec-L	88458-0	\$3,800.00	\$120.00
UPGRADE ELECTRICAL SERVICE TO 100A TO 200A TO CODE. FRONT AND REAR STAIRWELLS INSTALL EMERGENCY LIGHTS WITH BATTERY BACK UP, ANY OPEN LIGHT BULBS IN CLOSETS, STORAGE ROOMS, BASEMENT WILL BE FULLY ENCLOSED. FIXTURES, LAUDRY ELECTRIC OUTLETS WILL BE INSTALLE						
411 Donaciano & Francis Marchan 1414 S. Gunderson Avenue	16-19-221-026-0000	R	10/28/2020 Impr-L	88459-0	\$2,000.00	\$40.00
REPLACING 3 WINDOWS IN KITCHEN						
412 Louis Micelli & Wayne Conforti 1313 S. Elmwood Avenue	16-19-215-006-0000	R	10/28/2020 Elec-L	88460-0	\$6,800.00	\$315.00
2 UNIT - INSTALL EMERGENCY LIGHTING IN ALL COMMON HALLWAYS AND STAIRWELLS. REPLACE & INSTALL GFCI'S WHERE REQUIRED. REPLACE AND INSTALL 3 PRONG OUTLETS WHERE NEEDED. INSTALL ENCLOSED LIGHT FIXTURES IN CLOSETS, REMOVE BX CABLE IN BASEMENT AND GARAGE AND RE						
413 Raul Castro and Thera Lopez T 3217 S. Wisconsin Avenue	16-31-110-005-0000	R	10/28/2020 Impr-L	88461-0	\$5,500.00	\$100.00
R/R 12 FRONT PORCH/SUN ROOM WINDOWS.						
414 Ronald & Michelle Wotel 7112 W. 35th Street	16-31-301-005-0000	R	10/28/2020 Impr-L	88462-0	\$5,340.00	\$200.00
COMPLIANCE VIOLATION - INSTALL METER SOCKET, RISER AND ELECTRICAL PANEL, CONVERTING 2 EXISTING ELECTRICAL PANELS INTO ONE. R/R 4 WINDOWS ON THE 2ND FLOOR AND CONVERT TO EGRESS WINDOWS. INSTALLING ALUM CAP AND SEAL WITH CAULK.						
415						

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/11/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Jeffrey D. & Robyn A. Carlson		2530 S. Kenilworth Avenue	16-30-115-025-0000	GRIND & MORTAR ALL FOUR (4) SIDES OF HOUSE. TUCKPOINT LIMESTONE. POWERWASH ALL LIMESTONE. SPOT TUCKPOINT FACE BRICK. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.	R	10/28/2020 Impr-L	88463-0	\$5,700.00	\$175.00
My Property Holdings LLC - 62		6236 W. Ogden Avenue	16-32-122-007-0000	DEMOLITION OF THE REAR SOUTH PART OF THE BUILDING. ADDITION AND REMODEL FOR CRASH CHAMPION - 3 BATHROOM, MAIN OFFICE, CONFERENCE ROOM, LUNCH ROOM, WAITING AREA, SHOP AREA WITH PARTS OFFICE.	C	10/29/2020 Bldg-B	9618-0	\$2,150,000.00	\$34,610.00
D. Dauphin		1909 S. Scoville Avenue	16-19-421-004-0000	NO EXISTING GARAGE. POUR NEW CONCRETE SLAB FOR NEW GARAGE 22X24 14FT HEIGHT.	R	10/29/2020 Gar-B	9619-0	\$17,000.00	\$300.00
Nathan J. Carrero & Gwendoly		3809 S. Euclid Avenue	16-31-421-004-0000	CREATE TWO NEW BEDROOMS IN THE ATTIC. INSTALL 2 NEW DOORS AND FLOORING. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	R	10/29/2020 Bldg-B	9620-0	\$300.00	\$335.00
Ignacio Romero		2512 S. Kenilworth Avenue	16-30-115-019-0000	DEMO & REBUILD GARAGE 20' X 22' X 12.25' (H)	R	10/29/2020 Gar-B	9621-0	\$18,750.00	\$325.00
Palazzo Management Group LL		2103 S. Harlem Avenue	16-19-324-040-0000	ELECTRICAL ROUGH REINSPECTION AND CORRECTIONS.	R	10/29/2020 Impr-L	85274-1	\$13,000.00	\$255.00
JERRY E. SKWAT (TRUST)		3129 S. Euclid Avenue	16-31-201-011-0000	R/R HOT WATER HEATER.	R	10/29/2020 Plum-L	88464-0	\$2,245.19	\$85.00
George Blanas		3145 S. Euclid Avenue	16-31-201-033-0000	SEWER REPAIR PRIVATE PROPERTY AT BACK OF STAIRS UNDER WALK. INTERIOR	R	10/29/2020 Plum-L	88465-0	\$6,300.00	\$165.00
Richard Gee		1417 S. Clinton Avenue	16-19-121-007-0000	FLOOD CONTROL-- APPROVED FOR FLOOD CONTROL	R	10/29/2020 Impr-L	88466-0	\$0.00	\$250.00
Rosa Carrera		6918 W. 16th Street	16-19-305-045-0000	FURNACE REPLACEMENT 80% EFF 90K BTU'S CHIMNEY LINER BEING INSTALLED, INSULATED AS NEEDED (FLEX ALUMINUM)	R	10/29/2020 Impr-L	88467-0	\$5,400.00	\$215.00
Lucio Ventura & Maria G. Melg		1934 S. Wesley Avenue	16-19-417-028-0000	TEAR OFF AND RE-ROOF. FELT PAPER, ICE AND WATER SHIELD, SHINGLES	R	10/29/2020 Roof-L	88468-0	\$12,000.00	\$230.00

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: <u>10/11/2020</u>	And <u>10/31/2020</u>	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
427	Flavio Gonzalez 2104 S. Wisconsin Avenue	16-19-325-013-0000	R/R BOILER	R	10/29/2020	Impr-L	88469-0	\$9,800.00	\$200.00
428	Cindy Lopez 3021 S. Harlem Avenue 2C	16-30-320-045-1008	R/R ENTIRE 2" CONCRETE TOPPING SLAB. INSTALL BASE MASTERSEAL 1500 COATING TO BALCONY & INSTALL NEW ALUMINUM RAILING.	R	10/29/2020	Impr-L	88470-0	\$9,750.00	\$440.00
428	Ruben Salazar 3021 S. Harlem Avenue 3C	16-30-320-045-1009	R/R ENTIRE 2" CONCRETE SLAB. INSTALL BASE MASTERSEAL 1500 COATING TO BALCONY & INSTALL NEW ALUMINUM RAILINGS.	R	10/29/2020	Impr-L	88471-0	\$9,750.00	\$440.00
429	Grand Grove LLC 2105-11 S. Grove Avenue	16-19-331-002-0000	CLEAN OUT BASEMENTS. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMMING TRAFFIC.	C	10/29/2020	Dump-L	88472-0	\$0.00	\$50.00
430	Grand Grove LLC 2105-11 S. Grove Avenue	16-19-331-002-0000	TUCKPOINTING SOUTH WALL AND EAST WALL, REPLACEMENT OF BROKEN INDIVIDUAL BRICK.	C	10/29/2020	Roof-L	88473-0	\$12,000.00	\$265.00
431	Guadalupe Villagrana 6733 W. 26th Street	16-30-224-034-0000	WEST SIDE OF BUILDING GRIND AND TUCKPOINT 100 LINEAR FEET, EASTSIDE OF THE BUILDING GRIND AND TUCKPOINT 50 LINEAR FT, REPLACE 70 BRICK WHERE NEEDED. IF GRINDING MUST TENT OR TARP AREA. WET GRINDING IS ALSO ALLOWED.	C/R	10/29/2020	Impr-L	88474-0	\$8,000.00	\$205.00
432	Beverly M. Weable 2525 S. Ridgeland Avenue	16-29-124-012-0000	CONVERT TUB TO SHOWER ON THE MAIN FLOOR OF THE HOUSE.	R	10/29/2020	Impr-L	88475-0	\$2,500.00	\$205.00
433	Clement & Alicia Simon 1528 S. Scoville Avenue	16-19-228-030-0000	DIG DOWN TO SEWER, REMOVE BELLY INSTALL CLEAN OUT, ROD MAIN LINE, CAMERA AND INSPECTION FOR PROBLEM EXTERIOR FRONT YARD. PRIVATE PROPERTY.	R	10/29/2020	Impr-L	88476-0	\$3,500.00	\$120.00
434	Lisa Vavrek 3716 S. Wesley Avenue	16-31-416-026-0000	T/O & RE-ROOF HOUSE SHINGLE ROOF TO CODE. ICE AND WATER SHIELD TO CODE NO POWER VENTS.	R	10/29/2020	Roof-L	88477-0	\$11,600.00	\$230.00
435									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/11/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
436	Maria R. Ariaga	2311 S. Kentlworth Avenue	16-30-107-005-0000	REHAB BATHROOM, WALLS, FLOOR, CEILING, TOILET, VANITY, DOOR. BATHROOM IS EXISTING. INSTALL NEW EXTRACTOR VENT. NO NEW PLUMBING NO NEW ELECTRICAL.	R	10/29/2020 Impr-L	88478-0	\$1,500.00	\$235.00
436	Mario Lagunis	2347 S. Harvey Avenue	16-29-111-020-0000	REPLACING OLD SHINGLE FACE SHOP WITH SIDING FACE.	R	10/29/2020 Impr-L	88479-0	\$250.00	\$40.00
437	Berwyn Animal Hospital Trust	2845-47 S. Harlem Avenue	16-30-308-027-0000	INSTALLATION OF A NEW MECHANICALLY ATTACHED TPO MEMBRANE ROOF SYSTEM INCLUDING A COMPLETE TEAR OFF AND 2 LAYERS OF 2.6" POLY INSULATION (R-30) TOTAL ROOF AREA 8,164 SQ.FT.	C	10/29/2020 Impr-L	88480-0	\$128,580.00	\$1,985.00
438	Michelle Lopez & Elva Avilez	2223 S. Ridgeland Avenue	16-29-100-011-0000	DUMPSTER RENTAL. DUMPSTERS/PODS REQUIRE A FLASHING BARRICADE ON THE SIDE OF INCOMING TRAFFIC.	R	10/29/2020 Dump-L	88481-0	\$0.00	\$50.00
439	Karen Fabela & Adan Fabela	2614 S. Cuyler Avenue	16-29-300-026-0000	R/R GARAGE CONCRETE SLAB TO CODE. MUST DRILL & DAVEL PERIMETER W/REBAR.	R	10/29/2020 Impr-L	88482-0	\$2,500.00	\$105.00
440	Luis Centeno	1228 S. Scoville Avenue	16-19-204-027-0000	PAYING INSP FEES. PRELIMINARY FRAMING, PLUMB UNDERGROUND PVC HEAD TEST AND BEDDING. PLUMB FINAL, GAS PRESSURE TEST.	R	10/30/2020 Bldg-B	9127-3	\$0.00	\$265.00
441	Yellowstone Group LLC	3615 S. Highland Avenue	16-32-310-005-0000	PAYING FOR ELECTRICAL FINAL REINSPECTION-----=INTERIOR REMODEL - 1ST FLOOR WILL CONSIST OF KITCHEN, BATHROOM, 2 EXISTING BEDROOMS - R/R DOORS. 2ND FLOOR PAINT DOORS, R/R CARPET, BASEMENT IS ALREADY FINISHED WITH LAUNDRY MECH, EXISTING BEDROOM WITH O	R	10/30/2020 Impr-L	84906-3	\$0.00	\$50.00
442	Salvador Sotelo	2512 S. Scoville Avenue	16-30-228-013-0000	TEAR OFF EXISTING SHINGLES, RE-ROOF INSTALL ICE AND WATER SHIELD, FELT PAPER, ARCHITECTURAL SHINGLES, REPLACE EXISTING FASCIA AND SOFFIT, REPLACE EXISTING GUTTERS AND DOWNSPOUTS.	R	10/30/2020 Roof-L	88483-0	\$23,100.00	\$445.00
443									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/11/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Raul & Belen Lara Ruiz 1401 S. Home Avenue	16-19-120-001-0000	R	10/30/2020 Impr-L	88484-0	\$2,000.00	\$40.00
REMOVING AND REPLACING 5 TOTAL WINDOWS-- FRONT OF UNFINISHED BASEMENT. NO EGRESS REQUIRED.						
444 Joseph & Naomi Hansa 1429 S. Wenonah Avenue	16-19-119-014-0000	R	10/30/2020 Roof-L	88485-0	\$9,842.00	\$200.00
T/O & RE-ROOF HOUSE (SHINGLE). ICE AND WATER SHIELD TO CODE. NO POWER VENTS.						
445 6544 Cermak LLC 6544 W. Cermak Road	16-19-428-021-0000	C	10/30/2020 Impr-L	88486-0	\$15,000.00	\$375.00
INSTALL NEW DUCT WORK FROM EXISTING ROOF TOP UNITS. RUNS FROM BOTH DROPS TO FRONT OF OFFICE WITH REGISTERS.						
446 Garcia & Zimmerman 3545 S. Clinton Avenue	16-31-305-041-0000	R	10/30/2020 HVAC-L	88487-0	\$5,780.00	\$215.00
FURNACE REPLACEMENT 80% EFF 73K BTU'S, NEW CHIMNEY LINER FLEX ALUMINUM, INSULATED AS NEEDED.						
447 Juan Chavez Vazquez & Juan 1512 S. Ridgeland Avenue	16-19-231-022-0000	R	10/30/2020 Impr-L	88488-0	\$3,500.00	\$120.00
R/R EXISTING CONCRETE PRIVATE SIDEWALK FROM CITY WALK TO ALLEY. R/R CONCRETE FRONT ARPOACH. INSTALL NEW 200 SQ FT PATIO AT REAR OF BUILDING. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBORS OR CITY.						
448 Jesus Alberto Tapia 1340 S. Clinton Avenue	16-19-112-042-0000	R	10/30/2020 Impr-L	88489-0	\$5,500.00	\$300.00
ATF- R/R FENCE THAT RUNS ALONG THE NORTH SIDE OF THE PROPERTY. FENCE MUST BE CUT DOWN TO 5FT(OK TO ADD 1FT OPEN LATTICE) AND TURN FENCE AROUND. R/R SIDEWALK ALONG THE SOUTH SIDE OF THE PROPERTY THE SIDEWALK ALREADY POURED MUST BE RMOVED AND REPOURED TO P						
449 Adan Diaz 2230 S. Scoville Avenue	16-30-204-030-0000	R	10/30/2020 Impr-L	88490-0	\$15,500.00	\$520.00
TUCK POINT TWO STORY BRICK BUILDING & FAÇADE AS NEEDED. R/R NINE (9) LINTELS.						
450 Co Buu Tran 1304 S. Clarence Avenue	16-19-210-025-0000	R	10/30/2020 Impr-L	88491-0	\$13,100.00	\$270.00
REPLACING BALUSTERS AND HANDRAILING, NEED TO INSTALL HAND RAIL BY DECK FLOOR AROUND THE DECK. HAS 54 INCH STAIR OPENING. POSTS WILL BE 6X6, CAP RAIL, TOP RAIL, 4" GUARDRAILS.WILL INSTALL A FENCE AT THE FRONT OF THE PROPERTY FROM HOUSE TO HOUSE AND REAR O						
451						



# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Name and Address		Between: 10/1/2020	And 10/31/2020	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit
Baldomero Perez & Maria De J 3639 S. Scooville Avenue		16-31-412-016-0000		REPLACING 100A SERVICE WITH 200 AMP, INCLUDING INTERIOR AND EXTERIOR GROUND CONNECTING	R	10/30/2020 Elec-L	88492-0	\$2,350.00	\$155.00
452	Charles & Julia Mammoser	3433 S. Wisconsin Avenue	16-31-130-014-0000	REMOVE AND REPLACE 50 GALLON WATER HEATER WITH EXPANSION TANK AND REPAIR LEAKING GAS LINE AT 2 LOCATIONS AND REPLACE SHUT OFF VALVES AT 2 STOVES AND 1 DRYER	R	10/30/2020 Impr-L	88493-0	\$2,940.00	\$155.00
453	Nancy Rodriguez	3646 S. Home Avenue	16-31-319-036-0000	REMOVE FENCE ON SOUTH SIDE OF THE PROPERTY AND INSTALL A 6FT WOOD FENCE AT THE ALLEY AND A 5FT+1FT OPEN LATTICE FENCE ALONG THE LOT AND RETURN SECTION TO THE HOUSE----- THIS MUST BE AT LEAST 15FT BACK	R	10/30/2020 Fence-L	88494-0	\$3,000.00	\$135.00
454	Brian Laveme Brock &	2347 S. Oak Park Avenue	16-30-208-020-0000	R/R SIX (6) ATTIC WINDOWS TO EGRESS CODE. R/R ONE (1) MAIN FLR BATHROOM WINDOW. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	R	10/30/2020 Impr-L	88495-0	\$12,548.00	\$255.00
455	Williams & Wagar	3648 S. Gunderson Avenue	16-31-412-035-0000	R/R FIFTEEN (15) WINDOWS. EIGHT (8) BEDROOM WINDOWS & FOUR (4) BASEMENT WINDOWS. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	R	10/30/2020 Impr-L	88496-0	\$14,462.20	\$285.00
456	Roberto Delgadillo	1639 S. Wisconsin Avenue	16-19-302-020-0000	REMOVING AND REPLACING WINDOWS IN THE LIVING ROOM, DINING ROOM AND 3 BEDROOMS. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.	R	10/30/2020 Impr-L	88497-0	\$2,000.00	\$90.00
457	Vincente Aguirre	1844 S. Euclid Avenue	16-19-408-039-0000	TUCKPOINTING AS NEEDED AROUND THE HOUSE.	R	10/30/2020 Impr-L	88498-0	\$1,000.00	\$0.00
458	Crystal & Leonel Abrego	2836 S. Lombard Avenue	16-29-319-034-0000	BASEMENT RECREATIONAL ROOM MUST HAVE AN EGRESS WINDOW INSTALLED TO CODE FOR EMERGENCY ESCAPE AND RESCUE. BASEMENT RECREATIONAL ROOM MUST HAVE PERMANENT CONTROLLABLE HEAT SOURCE. KITCHEN ELECTRICAL OUTLET LEFT SIDE OF THE STOVE MUST BE MADE GFCI PROTECTED.	R	10/30/2020 Impr-L	88499-0	\$700.00	\$140.00
459									

# Report Of Building/Improvement Permits Issued By The City Of Berwyn

Monday, November 2, 2020

Between: 10/1/2020 And 10/31/2020

Name and Address	P.I.N. #	Census Class	Permit Issued	Permit #	Improvements	Cost Of Permit	
460							
Rafela & Jose Nieves	6619-21 W. 18th Street	R	10/30/2020 Impr-L	88500-0	\$25,000.00	\$435.00	
REPLACEMENT OF WINDOWS ON 3 FLOORS INCLUDING BEDROOMS. BRING WINDOWS TO EGRESS CODE WHERE NEEDED.							
461							
Virgilia Cheng	2126 S. Wisconsin Avenue	R	10/30/2020 Impr-L	88501-0	\$5,300.00	\$150.00	
INSTALL NEW CONCRETE UNDER REAR PORCH 8' X 15' & INSTALL NEW CONCRETE PATIO 11.5' X 26.5 YARD OF PROPERTY. CONCRETE MUST PITCH TOWARDS OWN PROPERTY NOT NEIGHBORS OR CITY.							
462							
Lea Inc.	3201 S. Harlem Avenue	C/R	10/30/2020 Impr-L	88502-0	\$12,000.00	\$190.00	
SWAP OUT 9 EXISTING ANTENNAS FOR SIX NEW MODEL ANTENNAS. RECONFIGURATION OF RELATED RADIO EQUIPMENT AND UPGRADING GROUND EQUIPMENT WITHIN T-MOBILES EXISTING LEASE AREA.							
463							
Timothy Cassidy & Shiwei Zho	1811 S. Home Avenue	R	10/30/2020 Impr-L	88503-0	\$2,200.00	\$105.00	
FRAME AND POUR NEW CONCRETE 4" THICK, FROTN STAIRS AND SMALL SECTION OF SIDEWALK (FRONT APPROACH) AND BACK PATIO APPROX. 10X14							
464							
Elva & Rogelio Chavez	2611 S. Ridgeland Avenue	R	10/30/2020 Impr-L	88504-0	\$11,000.00	\$250.00	
REMOVE EXISTING STONE VENEER. INSTALL VAPOR BARRIER. TIE NEW BRICK VENEER TO BUILDING. INSTALL NEW FLASHING & WEEP HOLES (ROPES) EVERY 24". REMOVE 1" BOARDS & INSTALL VAPOR BARRIER CEMENT BOARD & THIN BRICKVENEER ON CENTER ENTRY POST.							
465							
Shauna A & Michael Gedraitis	6924 W. 29th Street	R	10/30/2020 Impr-L	88505-0	\$5,500.00	\$50.00	
INSTALLATION OF BACK WATER VALVE (EXTERIOR) AND SECTION OF PIPE REPLACEMENT---FLOOD CONRTOL APPROVED							
465							
					<b>Totals . . . . .</b>	<b>\$5,295,909.73</b>	<b>\$133,125.00</b>

**Robert J. Lovero**  
**Mayor**



**Collections and  
Licensing**

K-4

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 749-8910  
[www.berwyn-il.gov](http://www.berwyn-il.gov)

November 5, 2020

Honorable Mayor Robert J. Lovero  
And Members of the City Council  
Berwyn City Hall  
Berwyn, Illinois 60402

Dear Mayor and Council Members:

Attached please find a list of business licenses, which were issued, by the Collection and Licensing Department for the month of July-October 2020. Included are storefronts & phone use only businesses. I am also providing a list of businesses that have applied for a license with a current status of Application Review/Pending as well as businesses waiting for inspections with a status of Inspections Pending.

Respectfully,

*Jeannette Rendon*

Jeannette Rendon  
For Benjamin Daish  
Finance Director

**BERWYN BUSINESSES - LICENSED IN JULY-OCTOBER 2020 (STOREFRONTS)**

**Address**                      **Business Name**                      **Owner**                      **Phone #**

No new businesses at this time per Licensing Officer Anthony Perri III

*Inspections Pending*

Business Name	Address	Last Update	Phone	ID #
<b>All Meal Prep</b> 6908 W. Windsor Avenue Berwyn	IL 60402	5/29/2019	(312) 313-2011	18637
<b>Bay Equity Home Loans</b> 6619 W. Cermak Road Berwyn	IL 60402	11/4/2019		18967
<b>Berwyn Auto</b> 6317 W. Ogden Avenue Berwyn	IL 60402	9/12/2018	(708) 788-3300	18083
<b>Berwyn Soles</b> 6310 W. Cermak Road Berwyn	IL 60402	4/17/2019	(708) 317-5221	18561
<b>Chem - Wise Ecological Pest Management</b> 1327 S. Harlem Avenue Berwyn	IL 60402	12/18/2018	(708) 777-1910	18387
<b>Community Nutrition Network &amp; Snr. Svc's</b> 3239 S. Grove Avenue Berwyn	Suite 202 IL 60402	6/21/2018	(312) 207-5290	15197
<b>Cricket Wireless</b> 6946 W. Cermak Road Berwyn	IL 60402	12/2/2019	(708) 317-4547	19004
<b>Fernando Fuentes D.B.A. Roberto's Place</b> 3244 S. OakPark Avenue Berwyn	IL 60402	2/1/2012		13011
<b>Gregory Rodriguez d.b.a</b> 6219 W. 26 th Street Berwyn	<b>The Barber's Shop</b> IL 60402	5/18/2020	(224) 392-7257	19210
<b>Illinois Mobile Solutions d.b.a.Metro PCS</b> 6320 W. 26 th Street Berwyn	IL 60402	4/20/2017		17272
<b>K ' Natural Inc.</b> 6610 W. Cermak Road Berwyn	IL 60402	6/9/2011	(708) 788-7900	12533
<b>Key Smart Mortgage Company</b> 6847 W. Cermak Road Berwyn	IL 60402	7/11/2019	(708) 613-0040	18688
<b>La Borra de Café</b> 6801 W, Stanley Avenue Berwyn	IL 60402	12/20/2019		19036
<b>La Michoacana Classica</b> 1600 S. Scoville Avenue Berwyn	IL 60402	5/17/2017		17330
<b>La Nueva Tropicana I Corp.</b> 6239 W. Cermak Road Berwyn	IL 60402	6/20/2018		18062
<b>La Parra Inc.</b> 6710 W. Cermak Road Berwyn	IL 60402	8/10/2020	(773) 870-1137	19379
<b>Le Parfum</b> 6226 W. Cermak Road Berwyn	IL 60402	11/28/2018		18349
<b>Liberty Tax Service</b> 3108 S. Oak Park Avenue Berwyn	IL 60402	1/26/2015	(708) 749-0250	15867
<b>Luis Garcia d.b.a. Fairytale Boutique</b> 6322 W. Cermak Road Berwyn	IL 60402	7/15/2019		18618
<b>Moreno Shoe Repair</b> 3142 S. Oak Park Avenue Berwyn	IL 60402	11/4/2019	(708) 484-7763	18966

***Inspections Pending***

<b>Business Name</b>	<b>Address</b>	<b>Last Update</b>	<b>Phone</b>	<b>ID #</b>
<b><i>Munoz Medical Center LLC</i></b>			<b>(708) 484-2600</b>	<b>12702</b>
3100 S. Oak Park Avenue	Berwyn IL 60402	8/22/2011		
<b><i>Pennan Properties</i></b>			<b>(708) 406-7550</b>	<b>18700</b>
2721 S. Ridgeland Avenue	Berwyn IL 60402	7/19/2019		
<b><i>Phone Repair &amp; More Inc.</i></b>				<b>19534</b>
6830 W. Cermak Road	Berwyn IL 60402	10/21/2020		
<b><i>Reyna Salamanca</i></b>	<b><i>d.b.a. Salamanca Alterations</i></b>		<b>(708) 631-7554</b>	<b>18463</b>
6616 W. Cermak Road Suite	Berwyn IL 60402	2/22/2019		
<b><i>Roots &amp; Cuttery Hair Salon</i></b>				<b>19380</b>
6910 W. 16th Street	Berwyn IL 60402	8/10/2020		
<b><i>Roy Amatore and Associates</i></b>	<b><i>Suite B</i></b>		<b>(708) 800-4876</b>	<b>18082</b>
6405 W. 34th Street	Berwyn IL 60402	7/11/2018		
<b><i>Taqueria El Palenque Inc.</i></b>				<b>13049</b>
1547 S. Oak Park Avenue	Berwyn IL 60402	2/23/2012		
<b><i>The Math Spot LLC.</i></b>			<b>(708) 484-6284</b>	<b>14625</b>
6834- A Bus_Street W.	Berwyn IL 60402	4/22/2013		
<b><i>The Snack Shack</i></b>				<b>18210</b>
3435 S. Harlem Avenue	Berwyn IL 60402	9/12/2018		
<b><i>Turano Fleet Maintenance Facility</i></b>			<b>(708) 788-9220</b>	<b>16750</b>
1431 S. Harlem Avenue	Berwyn IL 60402	5/25/2016		
<b><i>Victory Law Office P.C.</i></b>			<b>(312) 600-7000</b>	<b>18141</b>
6732 W. Cermak Road	Berwyn IL 60402	8/6/2018		
<b><i>Warmance Inc.</i></b>			<b>(708) 749-9772</b>	<b>17488</b>
6911 W. 30th Steet	Berwyn IL 60402	8/4/2017		
<b>Total Businesses . . . . .</b>				<b>32</b>

**Robert J. Lovero**  
**Mayor**



**Collections and  
Licensing**

*K-5*

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 749-8910  
www.berwyn-il.gov

November 5, 2020

Honorable Mayor Robert J. Lovero  
And Members of the City Council  
Berwyn City Hall  
Berwyn, Illinois 60402

Dear Mayor and Council Members:

The Local Ordinance Fines, which were collected by the City of Berwyn (Building/Neighborhood Affairs) and recorded by the Collection department in July-October 2020, amounted to \$59,665.00

Report copies are in their respective files and balancing copies are referred to the Finance Department on a daily basis or as received and recorded.

I, the undersigned, hereby acknowledge the sum of \$59,665.00 as herein above mentioned.

Jeannette Rendon *JR*  
For Benjamin Daish  
Finance Director

<u>ACCOUNT NUMBER</u>	<u>AMOUNT</u>
37854	\$59,665.00
Through 65020	
	amount totaled due to
	number of transactions
<b>TOTAL</b>	<b>\$59,665.00</b>



**Robert J. Lovero**  
Mayor



**Collections and  
Licensing**

*K-6*

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 749-8910  
www.berwyn-il.gov

November 5, 2020

Honorable Mayor Robert J. Lovero  
And Members of the City Council  
Berwyn City Hall  
Berwyn, Illinois 60402

Dear Mayor and Council Members:

The Compliance Tickets, which were collected by the Records Division of the Police Department and recorded by the Collections Department in July-October 2020 amounted to \$32,265.00

A report copy for each month is attached and ticket copies are on file in the Records Division of the Berwyn Police Department.

I, the undersigned, hereby acknowledge  
The total sum of \$32,265.00 as herein above  
mentioned.

Jeannette Rendon *JR*  
For Benjamin Daish  
Finance Director

<u>ACCOUNT NUNMBER</u>	<u>AMOUNT</u>
39151	\$32,265.00
Through 64985	
	Amount totaled due to
	Number of transaction
<b>TOTAL</b>	<b>\$32,265.00</b>

Robert J. Lovero  
Mayor



Collections and  
Licensing

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 749-8910  
www.berwyn-il.gov

K-7

November 5, 2020

Honorable Mayor Robert J. Lovero  
And Members of the City Council  
Berwyn City Hall  
Berwyn, Illinois 60402

Dear Mayor and Council Members:

The parking violation tickets, (P) tickets, which were collected by the parking violation fine clerk and the Collection department during July - October 2020 amounted to \$529,335.50  
A copy of these ticket numbers and amounts are attached and tickets are on file in the parking fine Collector's Office.

I, the undersigned, hereby acknowledge  
the total sum of \$529,335.50 as herein above  
mentioned.

Jeannette Rendon   
For Benjamin Daish  
Finance Director

<u>ACCOUNT NUNMBER</u>	<u>AMOUNT</u>
37989	\$529,335.50
Through 64986	
	Amount totaled due to
	Number of transaction
TOTAL	\$529,335.50

**Robert J. Lovero**  
Mayor



**Collections and  
Licensing**

K-8

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 749-8910  
www.berwyn-il.gov

November 5, 2020


Honorable Mayor Robert J. Lovero  
And Members of the City Council  
Berwyn City Hall  
Berwyn, Illinois 60402

Dear Mayor and Council Members:

The Seizure and Impound Fees collected by the Records Division of the Berwyn Police Department and recorded by the Collection department during July-October 2020, amounted to \$46,500.00.

The Police Department Records Division has report copies on file.

I, the undersigned, hereby acknowledge the total sum of \$46,500.00 as herein above mentioned.

Jeannette Rendon   
For Benjamin Daish  
Finance Director

<u>ACCOUNT NUNMBER</u>	<u>AMOUNT</u>
39153	\$46,500.00
Through 64985	
	Amount totaled due to
	Number of transaction
<b>TOTAL</b>	<b>\$46,500.00</b>

**Robert J. Lovero**  
**Mayor**



**Collections and  
Licensing**

K-9

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 749-8910  
www.berwyn-il.gov

November 5, 2020

Honorable Mayor Robert J. Lovero  
And Members of the City Council  
Berwyn City Hall  
Berwyn, Illinois 60402

Dear Mayor and Council Members:

The Court Fines collected by the Municipal Department, Circuit Court of Cook County, Illinois, District 4, recorded by the Collection department totaling \$6,273.00  
A copy of the report is on file at the City of Berwyn Police Department.

I, the undersigned, hereby acknowledge  
the total sum of \$6,273.00 as herein  
above mentioned.

Jeannette Rendon   
For Benjamin Daish  
Finance Director

Amount: \$6,273.00  
Applied: During the month of July & August 2020

**Robert J. Lovero**  
Mayor



**Collections and  
Licensing**

*K-10*

6700 West 26<sup>th</sup> Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 749-8910  
www.berwyn-il.gov

November 5, 2020

Honorable Mayor Robert J. Lovero  
And Members of the City Council  
Berwyn City Hall  
Berwyn, Illinois 60402

Dear Mayor and Council Members:

The adjudication fines collected in accordance with Local Ordinance Tickets, by the Police Department and recorded by the Collection department during July-October 2020 amounted to \$8,430.00

Ticket copies are on file with the Parking Division located in the City of Berwyn's Police Department.

I, the undersigned, hereby acknowledge the total sum of \$8,430.00 as herein above mentioned.

*JK*  
Jeannette Rendon  
For Benjamin Daish  
Finance Director

<u>ACCOUNT NUNMBER</u>	<u>AMOUNT</u>
42774	\$8,430.00
Through 64986	
	Amount totaled due to
	Number of transaction
<b>TOTAL</b>	<b>\$8,430.00</b>