



City of Berwyn

City Council Meeting

June 8, 2010

BERWYN CITY COUNCIL MEETING
JUNE 8, 2010

DEAR ATTENDEE.....THE MAYOR AND CITY COUNCIL WELCOME YOU. PLEASE KEEP IN MIND THAT THIS IS A MEETING OF THE MAYOR AND COUNCIL MEMBERS AS OPPOSED TO A PUBLIC HEARING WHERE ATTENDEES ARE ENCOURAGED TO PARTICIPATE. UNLESS INVITED BY THE MAYOR TO SPEAK, YOU ARE REQUESTED NOT TO INTERRUPT. IF YOU ARE RECOGNIZED BY THE MAYOR, PLEASE PREFACE YOUR REMARKS BY STATING YOUR NAME AND ADDRESS FOR THE RECORD. THANK YOU.

ROBERT J. LOVERO
MAYOR

THOMAS J. PAVLIK
CITY CLERK

AGENDA

ROLL CALL

- (A) PLEDGE OF ALLEGIANCE - MOMENT OF SILENCE
- (B) OPEN FORUM - (TOPIC MUST NOT BE ON THE AGENDA)
- (C) PRESENTATION OF PREVIOUS MEETINGS MINUTES FOR APPROVAL
 - 1. REG MIN. 5/25/10 -COW 5/25/10
- (D) BID OPENING - TABULATIONS
 - 1. AN ENCLOSED CAB DIESEL POWERED AIR SWEEPER
- (E) BERWYN DEVELOPMENT CORP.-BERWYN TOWNSHIP/HEALTH DISTRICT
 - 1. BDC-REQ FOR COMMERCIAL LOAN APPROVAL-6906-08 WINDSOR, WINDSOR PARTNERSHIP
 - 2. BDC-TIF APP. - ILLINOIS BACK INSTITUTE, 7008 W. CERMAK RD
 - 3. BDC-COMMERCIAL LOAN PROGRAM
- (F) REPORTS AND COMMUNICATIONS FROM THE MAYOR
 - 1. PUBLIC WORKS CONTRACT
- (G) REPORTS AND COMMUNICATIONS FROM THE CITY CLERK
- (H) COMMUNICATIONS FROM (ZONING) BOARD OF APPEALS
 - 1. ZBA-RESOL/ORD-JAMES & MELODY SAPYTA-1216 CLARENCE
 - 2. ZBA-RESOL & ORD-VAZQUEZ-1544 S. KENILWORTH
- (I) REPORTS AND COMMUNICATIONS FROM ALDERMEN, COMMITTEES OTHER BOARDS AND COMMISSIONS
 - 1. BHPC-7008 W. CERMAK RD.
- (J) STAFF REPORTS
 - 1. CITY ADM.-VOLUNTARY SEPARATION & RELEASE AGREEMENT
 - 2. LAW-SETTLEMENT OF TAX RATE OBJECTIONS FOR 2003 & 2004
 - 3. LAW-INTERGOVERNMENTAL AGR. BETWEEN THE BD. OF EDUCATION OF SOUTH BERWYN SCHOOL DIST. 100 & THE CITY OF BERWYN

4. BERWYN MAIN ST. SLAP-SIGN LIGHTING & AWNING PROGRAM
See attachment on Clerk's link http://berwyn-il.gov/pdf/Clerk/Slap_Program.pdf
5. TRAFFIC ENG.-CITY SPEED LIMITS
6. LAW/TRAFFIC ENG-ORD-UPDATED SPEED REGULATIONS
7. FIRE CHIEF-RETIREMENT ANNOUNCEMENTS & REQ TO PROMOTE (2)
LIEUTENANTS & REPLACE THE (2) FIREFIGHTERS

(K) CONSENT AGENDA: ALL ITEMS ON THE CONSENT AGENDA ARE CONSIDERED TO BE ROUTINE IN NATURE AND WILL BE ENACTED IN ONE MOTION. THERE WILL BE NO SEPARATE DISCUSSION OF THESE ITEMS UNLESS A COUNCIL MEMBER SO REQUESTS, IN WHICH EVENT THE ITEM WILL BE REMOVED FROM THE CONSENT AGENDA AND CONSIDERED AS THE FIRST ITEM AFTER APPROVAL OF THE CONSENT AGENDA

1. BUDGET CHAIR-PAYROLL-5/26/10-\$826,328.61
2. BUDGET CHAIR-PAYABLES-6/8/10-\$926,615.02
3. MAYOR-NOTIFICATION OF WRITTEN ORDERS AT CONCLUSION OF LIQUOR LICENSE HEARING PROCEEDINGS
4. BLOCK PARTY-2900 MAPLE-7/4/10
5. BLOCK PARTY-2400 SCOVILLE-7/24/10
6. BLOCK PARTY-1600 CLINTON-6/12/10
7. BLOCK PARTY-3600 CUYLER-6/19/10
8. BLOCK PARTY-1900 HARVEY-6/26/10
9. BLOCK PARTY-3200 HOME-7/31/10
10. BLOCK PARTY-3200 WENONAH-7/2/10
11. FITZGERALD'S OUTDOOR CONCERT-6/3/10
12. BERWYN MAIN STREET-CERMAK SIDEWALK SALES-6/25-6/27, 7/15-7/18, 8/19-8/22
9/24-9/26, 2010

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THOMAS J. PAVLIK - CITY CLERK



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- A Pledge of Allegiance-Moment of Silence**
 - B. Open Forum**
(Topic Must Not Be on The Agenda)



**C. Presentation of Previous
Meeting Minutes for Approval**

ROBERT J. LOVERO
MAYOR

THOMAS J. PAVLIK
CITY CLERK

MINUTES
BERWYN CITY COUNCIL
MAY 25, 2010

1. The Berwyn City Council was called to order by Mayor Lovero at 8:00 p.m. Upon the call of the roll, the following responded present: Chapman, Boyajian, Paul, Skryd, Santoy, Polashek, Avila, Laureto.
2. The Pledge of Allegiance was recited and a moment of silence was observed for the following deceased individuals: infant grandchild of resident Wendy Rivera, former Fire Department secretary, Carole Kopstain, and Catherine Oschner, mother of Police Sergeant Mike Oschner.
3. The Open Forum portion of the meeting was announced. The Mayor recognized resident Lucile Evans, who voiced concerns regarding advertising signs for businesses being carried by individuals in various areas in Berwyn and asked if there was any ordinance restricting these actions and if permits were issued to these individuals, see attached. The Mayor responded that he would check into the matter. Dario Salano of Berwyn Mainstreet invited all to the grand opening of Rossy's Novelties at 6615 Cermak Road on Wednesday, May 26, 2010 at 5:30 p.m. Also, announced the Rain Barrels project and invited artists to paint barrels. Alderman Santoy announced a 5th Ward meeting for Wednesday June 2, 2010 at 6:30 p.m. at Havlicek School. The Mayor congratulated Alderman Skryd for receiving a Certificate of Completion for her enrollment in the U of I in Champaign, Leadership Academy on April 16, 2010.
4. Chapman made a motion, seconded by Boyajian to amend the agenda to include Item K-6, St Leonard School event and to close Clarence Avenue between 33rd and 34th Street. The motion carried by a voice vote.
5. The minutes of the regular City Council meeting and the Committee of the Whole of May 11, 2010 were presented. Thereafter, Chapman made a motion, seconded by Skryd, to concur and approve as submitted. The motion carried by a voice vote.
6. Avila made a motion, seconded by Boyajian, to suspend the rules and bring forth item I-3. The motion carried by a voice vote. Thereafter, Chapman amended the motion and brought forth items I-3, F-1, and F-2, seconded by Avila. The motion carried by a voice vote.

7. Item F-1 is a Proclamation from the Mayor honoring Violet Tantillo, retiring Principal of Jefferson Elementary School. Thereafter, Avila made a motion, seconded by Laureto, to concur and **adopt** the Proclamation as presented. The motion carried by a voice vote. Thereafter, the Mayor presented Ms. Tantillo with the Proclamation with congratulations extended by all.
8. Santoy made a motion, seconded by Chapman, to defer the reading of Item F-2, Proclamation, until the recipients arrive. The motion carried by voice vote.
9. Alderman Avila submitted a Proclamation honoring Ms. Lucy Barahona, retiring Coordinator of Bilingual Programs and Services for District 100. Thereafter, Avila made a motion, seconded by Chapman, to concur and **adopt** the Proclamation as presented. The motion carried by a voice vote. Thereafter, the Mayor presented the Proclamation to Ms. Barahona with congratulations extended by all.
10. Santoy made a motion, seconded by Chapman, to bring forward F-2 for reading. The motion carried. F-2 is a Resolution from the Mayor regarding Rebuilding Together Metro Chicago. Thereafter, Santoy made a motion, seconded by Skryd, to concur and **adopt** the Resolution as presented with thanks and gratitude for services provided. The motion carried by a voice vote. Thereafter, the Mayor presented the Resolution to members of Rebuilding Together Metro Chicago with thanks for all the work done to homes of residents who were present at the Council meeting.
11. A deferred communication from the Berwyn Development Corporation regarding Roosevelt Road Intergovernmental Agreement. Thereafter, Skryd made a motion, seconded by Boyajian, to withdraw the communication. The motion carried by a voice vote.
12. A communication from the Berwyn Development Corporation regarding a request for a Commercial Loan approval for Autre Monde, 6727 Roosevelt Rd. Thereafter, Anthony Griffin briefly reviewed the request. Thereafter, Laureto made a motion, seconded by Skryd, to concur and approve for payment in an amount not to exceed \$225,000. The motion carried by a unanimous roll call vote.
13. A communication from the Berwyn Development Corporation regarding Cermak Road TIF Close Out, along with an ordinance entitled:
AN ORDINANCE PLEDGING CERTAIN AMOUNTS CONTAINED IN THE CERMAK (BERWYN THEATRE) REDEVELOPMENT PROJECT AREA

SPECIAL TAX ALLOCATION FUND FOR PAYMENT OF ANTICIPATED REDEVELOPMENT PROJECT COSTS

Thereafter, Skryd made a motion, seconded by Avila, to concur and **adopt** the ordinance as presented and to authorize the corporate authorities to affix their signatures thereto. The motion carried by a unanimous roll call vote.

14. A communication from the Berwyn Development Corporation regarding Redevelopment Agreement and Ordinance Luigi's Paisans Pizza, 6226 Ogden Avenue-Scrivener's Error. Thereafter, Boyajian made a motion, seconded by Chapman, to accept the matter as informational. The motion carried by a voice vote.
15. The Mayor submitted a communication requesting approval of the AFSCME Contract. Thereafter, Chapman made a motion, seconded by Skryd to concur and approve the contract as submitted. The motion carried by the following roll call: Yeas: Chapman, Boyajian, Skryd, Santoy, Polashek, Avila, Laureto. Nay: Paul.
16. The Mayor submitted a communication regarding naming Berwyn, Tree City USA for the 23rd consecutive year with recognition and congratulations to the Public Works Department. Thereafter, Skryd made a motion, seconded by Boyajian, to accept as informational. The motion carried by a voice vote.
17. The Mayor submitted a communication regarding City Clerk, Tom Pavlik's recent surgery with wishes for a speedy recovery. Thereafter, Chapman made a motion, seconded by Avila, to accept as informational. The motion carried by a voice vote.
18. The City Clerk submitted a communication requesting the approval of Closed Committee of the Whole minutes of March 9th, March 23rd, April 13th and April 27, 2010 as reviewed in the Closed Session on May 11, 2010. Thereafter, Skryd made a motion, seconded by Chapman, to concur and approve as submitted. The motion carried by a voice vote.
19. Alderman Polashek submitted a communication regarding Ordinance 09-01 Authorizing the submission of a membership application to Sister Cities International. Thereafter, Polashek briefly spoke on the history of the organization and thanked all those who recently traveled to the Czech Republic to work on the Sister Cities Program, special thanks to the Mayor, Representative Lisa Hernandez, Alderman Skryd, Lance Malina, Jean Hruby and many others who gave their time and efforts toward the program, and stated 4 goals, Culturally, Educationally, Municipality and Economics.

Thereafter, Polashek made a motion, seconded by Skryd, to attach the signed application for membership to the Sister Cities Program and approve the allocation of \$680.00. The motion carried by a unanimous roll call vote.

20. Alderman Polashek submitted a communication regarding a handicap sign for George Panos, 1909 Elmwood. Thereafter, Polashek made a motion, seconded by Skryd, to concur and approve as submitted. The motion carried by a unanimous roll call vote.
21. The City Attorney submitted a communication requesting settlement of Case #09WC08478 in the amount of \$60,000. Thereafter, Skryd made a motion, seconded by Boyajian, to concur and approve for payment. The motion carried by a unanimous roll call vote.
22. The City Attorney submitted a communication requesting settlement of Case #07C3657 in the amount of \$52,500. Thereafter, Chapman made motion, seconded by Avila, to concur and approve for payment. The motion carried by the following roll call vote. Yeas: Chapman, Boyajian, Paul, Skryd, Santoy, Avila, Laureto. Nays: Polashek.
23. Chapman made a motion, seconded by Skryd, to withdraw Items J-3 and J-4. The motion carried by a voice vote.
24. The City Attorney submitted a communication regarding amendments to Licensing Ordinance Chapter 462.05, License Fees along with an ordinance entitled:
AN ORDINANCE AMENDING CHAPTER 462.05 OF THE CODIFIED ORDINANCES OF THE CITY OF BERWYN, COOK COUNTY, ILLINOIS, REGARDING LICENSE FEES.
Thereafter, Chapman made a motion, seconded by Avila, to concur and adopt the ordinance as presented and to authorize the corporate authorities to affix their signatures thereto. The motion carried by a unanimous roll call vote.
25. The City Administrator submitted a communication regarding the Berwyn Public Library, Chiller (air conditioner) Replacement Engineering Service Contract. John Fitzgerald, City Engineer briefly explained. After discussion, Chapman made a motion, seconded by Avila, to concur and approve the attached contract with Novotny and Associates with a cap of \$18,000 and to authorize the corporate authorities to affix their signatures thereto. The motion carried by a unanimous

26. The Finance Director submitted a communication regarding Line of Credit Draw with an attached Resolution entitled

A Resolution of the City of Berwyn, Cook County, Illinois Approving a Draw on the Unsecured Revolving Line of Credit with Citizens Bank

Thereafter, Skryd made a motion, seconded by Chapman, to concur and **adopt** the Resolution as presented and to authorize the corporate authorities to affix their signatures thereto. The motion carried by a unanimous roll call vote.

27. The Public Works Director submitted a communication requesting permission to bid for an Enclosed Cab Diesel Powered Air Sweeper. Thereafter, Chapman made a motion, seconded by Skryd, to concur and grant permission to go to bid. The motion carried by a unanimous roll call vote.

28. The Fire Chief submitted a communication regarding the 2010-2011 Assistance to Firefighters Regional Grant application for MABAS Division 11 Firefighters. Thereafter, Skryd made a motion, seconded by Chapman, to concur and approve the submittal of the MABAS Division 11 accountability system grant for 20% of the share cost of \$30,583.00. The motion carried by unanimous roll call vote.

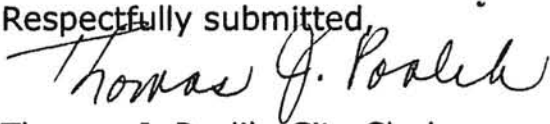
29. The Fire Chief submitted a communication regarding the 2010-2011 Assistance to Firefighters Grant Application for Berwyn Firefighting Structural firefighting turnout gear. Thereafter, Skyd made a motion, seconded by Chapman, to concur and approve the submission of the Grant application. The motion carried by a unanimous roll call vote.

30. The Consent Agenda K-1 through K-6 were submitted.
K-1-Budget Chairman, payroll for May 12, 2010, \$1,054,301.76
K-2-Budget Chairman, payables for May 25, 2010, \$658,878.38
K-3-Finance Director-Disposal of Public Works vehicles and snow plows
K-4-Licensing and Collections, business licenses issued in April 2010
K-5-Block Party, 2200 Gunderson, June 26, 2010
K-6-St. Leonard School event, June 2, 2010
Thereafter, Avila made a motion, seconded by Boyajian, to concur and approve by Omnibus Vote Designation. The motion carried by a voice vote.

31. Alderman Polashek announced a Recreation meeting (as previously called) for Wednesday, June 16, 2010 at 6:00 p.m.
Alderman Boyajian called for a Public Works meeting for Thursday, June 17, 2010 at 5:00 p.m.

32. There being no further business to come before the meeting, same was, after a motion by Laureto and seconded by Skryd, to adjourn the meeting at the hour of 8:55 p.m. The motion carried by a voice vote.

Respectfully submitted,



Thomas J. Pavlik, City Clerk
by Louise Sommese
Deputy City Clerk

COMMITTEE OF THE WHOLE
MAY 25, 2010

1. The Committee of the Whole was called to order by Mayor Lovero at 6:11 p.m. Upon the call of the roll, the following responded presented: Chapman, Boyajian, Paul, Polashek, Avila, Laureto. Absent: Skryd, Santoy. Avila made a motion, seconded by Boyajian, to excuse Aldermen Skryd and Santoy. The motion carried by a voice vote.

2. DCEO Grants-City Administrator Brian Pabst commended the Mayor and Aldermen that went to Springfield to secure grant monies. Pabst stated that there were four DECO grants the City could receive on infrastructure upgrades totaling \$325,000, see attached. Proposed projects include:
 1. (2) Elevator replacements at the Berwyn Library at a cost of \$160,000
 2. City of Berwyn IT infrastructure Upgrades , Wiring & HVAC at City Hall and Police Department and Diesel-based Power Generator for City Hall in case of power loss-\$85,000
 3. General Infrastructure, \$30,000-supplement the UPS battery backup System
 4. \$50,000 for plumbing and concrete work at Pavek pool, lighting at Janura Park's softball field, soccer field and general infrastructure at Janura Park.

Pabst went on to say that all projects must be considered Capital Projects in nature and all grants must be monitored closely in order to receive full amount of grant request. DECO will provide portion (25%) of monies as bills are submitted, but will not guarantee remainder (75%) even if awarded, may not receive all monies, but at this time everything looks favorable.

Skryd present at 6:13 p.m.

The Mayor stated monies on three DECO grants that were awarded over one year ago were received prior to our current requests and that work was done and that the City made payments and advised that even though we are due to get the monies, we should make sure that these projects are budgeted for in case award monies don't come in time. The Mayor went on to say that State Representative Zalewski advised him that monies were being freed up and part of these applications included a survey that needs to be filled out for each project and that which our Grant person, Jim Kapsa has been dealing with.

- Paul asked for back round on DCEO (Department of Economic Opportunity) Pabst stated that it is agency primarily involved in grants and since Senator Sandoval is the current Chair of this

Agency and that through the efforts of the Mayor and Aldermen, we are receiving a fair amount of monies.

- Paul asked where agency receives money, Pabst replied, State Funds.

3. The Mayor asked if there were any questions on agenda items

- Skryd questioned item J-3 and J-4-
The Mayor stated that J-3 and J-4 are to be withdrawn until further clarification.
- Paul-questioned voting on Increases in Fees.
- Skryd-questioned if motion was needed on E-4 or does it need to be referred to Clerk's office, answer, just accept as informational

The Mayor asked if there were any questions regarding I-6-Chiller at the Berwyn Library and if so, City Engineer, John Fitzgerald will be available for questions at the Council meeting.

- Paul questioned Public Works Director on purchase of Air Blower for parking structure, and asked for other uses for this equipment?
Schiller responded, cleaning of parking deck, and for sweeping sidewalks in the business corridors and described equipment.
- Boyajian questioned if money for equipment was coming out of bond for parking structure, answer, yes
- Avila questioned approving the cost not to exceed hourly rates for the Chiller for the Library, and asked is there a cap, Pabst stated that John Fitzgerald will be here to answer questions and Pabst will monitor expenses closely
- Laureto stated that Fitzgerald's on Roosevelt Road, put together events list earlier this year but did not list the event for June 3rd and requested approval from Council. Council 7-0 in favor

4. The Mayor asked for a motion to go into closed session. Thereafter, Skryd made a motion, seconded by Polashek, to go into closed session for pending litigation, land acquisition, contract negotiations. The motion carried by a voice vote at 6:30 p.m.

5. Avila made a motion, seconded by Skryd, to reopen the Committee of the Whole at 7:10 p.m. The motion carried by a voice vote.

6. Skryd made a motion, seconded by Polashek, to adjourn the Committee of the Whole at 78:10 p.m. The motion carried by a voice vote.

Respectfully submitted,


Thomas J. Pavlik, City Clerk

By Louise Sommese, Deputy City Clerk



D. Bid Openings Tabulations

The City of Berwyn



Robert P. Schiller
Director of Public Works

D-1

A Century of Progress with Pride

June 8, 2010

To: Mayor Lovero
Members of the Berwyn City Council

Re: Request Permission to Open Bids for an enclosed cab diesel powered air sweeper

On May 25, 2010, the City Council authorized staff to proceed with the Request for Proposals for a 2010 enclosed cab diesel powered air sweeper. This sweeper will be used to maintain the parking deck and assist with cleaning efforts on sidewalks and after special events. The Request for Proposal (RFP) was due by 3:00 p.m. on Tuesday, June 8th and staff is requesting permission to open the proposals at the June 8th City Council meeting. Staff will evaluate the proposals and bring forward a recommendation to the City Council for approval at the June 22nd City Council meeting.

Respectfully,

A handwritten signature in black ink, appearing to be 'R. Schiller', written over a white background.

Robert Schiller
Director of Public Works



**E. Berwyn Development Corp. –
Berwyn Township/Health District**

June 4, 2010

Mayor Robert J. Lovero
Members of the Berwyn City Council
Berwyn City Hall
6700 W. 26th Street
Berwyn, IL 60402

Re: Request for Commercial Loan Approval – 6906-08 Windsor Avenue, Windsor Partnership


Dear Mayor & City Council,

On May 13, 2010, the Berwyn Development Corporation Commercial Loan Committee reviewed a loan application for Windsor Partnership which would be used to renew an existing commercial mortgage and funds for the conversion of an existing office space into a new restaurant. The loan request is for \$385,000. The loan to value ratio of the request is a healthy 79.4%.

After a review of the property owner's and operator's financials along with the application packet to include a business plan, the committee provided a conditional approval recommendation. Since that time, applicants have satisfied conditions set forth therein and attached hereto. The loan is collateralized by the business property, business equipment, leases, and personal guarantees of the property owners. The request would serve as a first position on the property and business equipment. The recommended loan amount is not to exceed \$385,000.00 amortized over a 20-year period with a variable interest rate of prime plus 2% from the City commercial loan pool. The BDC Board concurred with the loan committee recommendation at the June Board meeting. Please see attached for further details from the conditional letter of approval.

We would appreciate your consideration of this commercial loan application, contingent upon execution of the required note to secure the debt as stipulated above.

Respectfully submitted for your consideration,



Anthony W. Griffin

May 14, 2010

Mr. Jim Gay
6906-08 Windsor Avenue
Berwyn, IL 60402

Re: Berwyn Development Corporation Commercial Loan Application Commitment Letter – Windsor Partnership

Dear Mr. Gay:

We are pleased to offer you the following conditional loan commitment for the renewal of an expiring commercial loan and renovations of a commercial building located at 6906-08 Windsor Avenue for a total loan of THREE HUNDRED EIGHTY FIVE THOUSAND AND 00/100 DOLLARS (\$385,000.00). This is subject to and satisfaction of the conditions set forth:

CONDITIONS

A) FORTY FIVE THOUSAND AND 00/100 DOLLARS (\$45,000.00) of personal equity or private investment be secured and escrowed for kitchen equipment in addition to SEVENTY ONE THOUSAND AND 00/100 DOLLARS (\$71,000) be secured from the City of Berwyn, IL Depot District Tax Increment Finance District which will be used for TIF eligible work on the needed renovation costs.

BORROWER

Windsor Partnership, Jim Gay, and Martin Mendicino

LOAN AMOUNT

A) TWO HUNDRED NINETY SEVEN THOUSAND AND 00/100 DOLLARS (\$297,000.00) as proceeds to pay-off the existing and expiring loan with Citizens Community Bank.

B) Additional EIGHTY EIGHT THOUSAND AND 00/100 DOLLARS (\$88,000.00)

Interest only acquisition and construction loan which is converted to Commercial Real Estate Mortgage eight months after issuance of first payment.

Total of loans will not exceed \$385,000.00

COLLATERAL/SECURITY

A) A 1st Real Estate Mortgage on property located at *property address*. The final legal description of property to be mortgaged must be satisfactory to the Berwyn Development Corporation.

First lien security interest on the business assets

B) Personal guaranty of the borrowers.

C) Assignment of rent from aforementioned property.

INTEREST RATE AND TERM

A) Commercial Real Estate Mortgage based upon a floor of seven (7%) percent, with monthly payments of principal and interest on a five year note, with an adjustment each December which 200 basis points over the achieved Berwyn Development Corporation line of credit rate. Twenty (20) year amortization.

First eight months is interest only at five (5%) percent.

GUARANTORS

Unlimited Unsecured Guarantee of *guarantors*.

FINANCIAL STATEMENTS

Borrower shall maintain its present business form and organization, comply with all applicable laws, and continue to conduct and operate its business substantially as conducted and operated at present.

Borrowers and Guarantors shall provide annual financial statements and Tax Returns.

FEES

A) A \$5,000 processing fee to be paid at time of closing.

TITLE INSURANCE

Commitment for mortgage title insurance, without exceptions, satisfactory to the Berwyn Development Corporation to be furnished. The final mortgage title insurance policy to show clear title to be in the Borrowers name and will insure the Berwyn Development Corporation in the principal amount of the loan as having a first security interest in the property.

COSTS

It is understood that the mortgagor shall pay all costs pertaining to this loan which may include the following: processing fee, mortgage title insurance policy, appraisal, survey, legal, recording fees, and any other incidental expenses as may be required by the Berwyn Development Corporation or the Berwyn Development Corporation's attorney.

TAXES

It is understood that all property taxes are current and future tax payments will be escrowed.

HAZARD INSURANCE

Borrower will also be required to provide Hazard Insurance in an amount equal to the full replacement value of the collateral, but in no event less than the amount of the Loan. An insurance company satisfactory shall provide the policy to the Berwyn Development Corporation. All Risk extended coverage endorsements is required. Borrower will be required to provide a letter from an authorized agent stating that all premiums are paid and that the policy is in full force and effect. The Berwyn Development Corporation is to be properly designated in a Lender's Loss Payable Clause and Standard Mortgage Clause as Mortgagee under the policy. In addition, all cancellation clauses shall provide that the Berwyn Development Corporation be given thirty- (30) days written notice prior to any cancellation, termination, or policy expiration.

COMMITMENT ACCEPTANCE

Upon your acceptance and proof of conditions outlined above, the Berwyn Development Corporation will proceed with processing the application for final and ultimate approval by the City Council by the City of Berwyn. Terms and conditions will be set by loan documents prepared after final approval City Council. Please acknowledge your acceptance below as indicated and return it to our office at 3322 Oak Park Ave. Berwyn, IL 60402. If you have any questions about any material contained in this commitment, feel free to contact me at (708)788-8100.

Sincerely,

Anthony Griffin
Executive Director

Accepted by:
By: _____ Date: _____
Borrower

Accepted by:
By: _____ Date: _____
Borrower

Accepted by:
By: _____ Date: _____
Borrower

June 8, 2010

Mayor Robert J Lovero
Members of the Berwyn City Council
Berwyn City Hall
6700 West 26th Street
Berwyn, IL 60402

Re: TIF Application – Illinois Back Institute, 7008 W. Cermak Road

Dear Mayor and City Council,

The applicant is requesting TIF funds for redevelopment work at his existing commercial space on Cermak Road. The TIF scope of work includes, but not limited to, façade work including brick, doors, windows, lighting and signage as well as front interior tile floor and a new roof. The applicant submitted a Tier II TIF application. To this extent, the applicant is requesting TIF funds for redevelopment work at this location in order to fill in the needed gap. Total TIF eligible costs are expected to not exceed \$80,144.

The application meets the procedural requirements of the Berwyn TIF application which was reviewed by Berwyn Development Corporation's (BDC) staff and then processed for consideration. A revenue forecast shows that the business would produce \$167,700 in tax revenue over the next five-year period through property taxes.

The BDC Board of Directors and Cermak/Roosevelt TIF Committee have both agreed to recommend approval of the below specified TIF monies regarding Illinois Back Institute's TIF eligible project costs.

Berwyn Main Street reviewed the application and offered design guidelines, including removing the proposed stucco over the brick work and removing the proposed sign as it is not in compliance with the existing City Ordinance. The owner agreed with the recommendations and will update his plans accordingly.

The Berwyn Historic Preservation Commission (BHPC) would like to go on record regarding the proposed facade changes to this property as 7008 Cermak is on their master list as historically significant structures.



Based on this information, the City Council is being asked to approve TIF monies to pay only the eligible costs associated with this project up to a maximum of 50% of project costs. As part of our process, BDC staff will validate work performed and eligibility prior to any payments. Furthermore, the BDC will ensure the applicant will not receive any TIF monies prior to obtaining proper City permits.

With the consent of the City Council, Illinois Back Institute can commence work on their project and contribute to the revitalization efforts taking place on Cermak Road.

Respectfully,

A handwritten signature in black ink, appearing to read "A. Griffin", is written over the typed name.

Anthony Griffin
Executive Director



A

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

E-3
June 4, 2010

**Mayor Robert J. Lovero
Members of the Berwyn City Council
Berwyn City Hall
6700 West 26th Street
Berwyn, IL 60402**

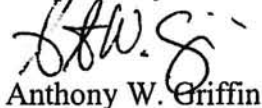
Re: Commercial Loan Program

Dear Mayor and Members of the City Council,

The commercial loan program is set-up to have seven financial institutions in the program for a total pool of \$4,200,000 in funds plus the local fund which currently has assets totaling \$800,000. Currently there are six active banks in the program. The BDC is interviewing various local banks with the possibility of recommending a seventh bank to join the program later in the year.

A current need of the program is renewing the term of an existing bank. The term for Harris Bank has expired and we are recommending renewing with this financial institution. They have been an excellent participant in the program and a good community partner in Berwyn. The attached Ordinance as drafted by special legal counsel for the BDC and City allows for the renewal of Harris Bank for another five-year commitment to the program. Upon approval of the attached Ordinance, the BDC will submit all needed documentation to renew the commitment with Harris Bank in the commercial loan program.

Respectfully submitted for your consideration,


Anthony W. Griffin

**AN ORDINANCE AUTHORIZING THE EXECUTION OF
GUARANTIES OF LINES OF CREDIT OF THE BERWYN
DEVELOPMENT CORPORATION**

WHEREAS, The BDC/City of Berwyn Commercial Loan Program (the "Program") was established in 1986 with \$225,000 set aside by the City to encourage business expansion and commercial building rehab projects within the City; and

WHEREAS, the Program has been administered by the Berwyn Development Corporation since its inception, providing loans totaling over \$5,077,000 in a public private partnership, which has directly stimulated private investments throughout Berwyn; and

WHEREAS, the current authority and commitment is for \$4,200,000, all of which is invested in the community as active loans or available to Berwyn businesses; and

WHEREAS, there exists a need to renew Program commitments to continue the Commercial Loan Program as before; and

WHEREAS, six (6) area commercial lenders namely, Citizens Community Bank, MB Financial Bank, Harris Bank, Pan American Bank, AztecAmerica Bank and Community Bank of Oak Park/River Forest have agreed to participate in the BDC/City of Berwyn Commercial Loan Program for five (5) years, providing a line of credit commitment totaling \$3,600,000 to the Berwyn Development Corporation, if the City of Berwyn continues as a guarantor of the Program; and

WHEREAS, each revolving line of credit commitment will continue through December 31, 2014, at a rate annually fixed on December 1 at the Wall Street Journal prime minus percent (1.0%), with a floor of five percent (5.0%), enabling the Program to continue as before to stimulate major investments in Berwyn's business properties, revitalizing its commercial districts and its economy to the benefit of all of Berwyn; and

NOW THEREFORE BE IT RESOLVED by the Mayor and City Council that loan guarantees representing a general obligation of the City of Berwyn and totaling \$3,600,000, as requested by the Berwyn Development Corporation and represented above, are hereby approved until December 31, 2014 and the Mayor, City Treasurer, or City Finance Director are hereby authorized to execute such loan guarantees.

Section 1:

That the above recitals and findings are incorporated herein and made a part hereof, as if fully set forth in their entirety.

Section 2:

This Ordinance, and its parts, is declared to be severable and any section, clause, provision, or portion of this Ordinance declared invalid, the invalidity thereof shall not affect the validity of any other provision of this Ordinance which shall remain in full force and effect.

Section 3:

If any part of this Ordinance is found to be in conflict with any other ordinance, resolution, motion or order or parts thereof, the most restrictive or highest standard shall prevail.

Section 4:

The Ordinance shall be in full force and effect upon its passage, approval and publication as provided by law.

ADOPTED this ____ day of _____, 2010 pursuant to a roll call vote as follows:

	YES	NO	ABSENT	PRESENT
Chapman				
Boyajian				
Paul				
Skryd				
Santoy				
Polashek				
Avila				
Laureto				
(Mayor Lovero)				

[SIGNATURES TO FOLLOW]

APPROVED by the Mayor on _____, 2010

Robert J. Lovero
MAYOR

ATTEST:

Thomas J. Pavlik
CITY CLERK



**F. Reports and Communications
From The Mayor**

The City of Berwyn



Robert J. Lovero
Mayor

A Century of Progress with Pride

June 8, 2010

Members of the Berwyn City Council

Re: Public Works Contract

Council Members:

I am submitting the Public Works Contract, which you received last week, for your consideration.

The Mayor's Office along with the Law Department is requesting your approval of this contract.

Respectfully submitted,

Robert J. Lovero
Mayor



**G. Reports and Communication From
The City Clerk**



**H. Communications From (Zoning)
Board of Appeals**



THE CITY OF BERWYN, ILLINOIS

Building A New Berwyn

ROBERT J. LOVERO, *Mayor*

6700 West 26th Street • Berwyn, Illinois 60402-0701

Telephone: (708) 788-2660 • Fax: (708) 788-2675 • www.berwyn-il.gov

May 25, 2010

ZONING BOARD OF APPEALS

CHAIRMAN: Joel W. Chrastka

EXECUTIVE SECRETARY: Milton F. Persin

MEMBERS:

Dominick Castaldo

Robert W. Fejt

Mary Esther Hernandez

Lance C. Malina

Don Miller

City Clerk-City of Berwyn
6700 W. 26th Street
Berwyn, Illinois 60402

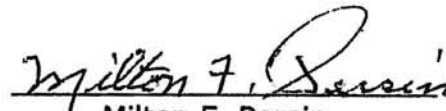
RE: James & Melodi Sapyta-1216 S. Clarence Avenue

Dear Mr. Pavlik:

Enclosed is a Resolution and Ordinance pertaining to the above captioned Hearing(s) in which the Berwyn Zoning Board of Appeals recommends approval by the City Council.

Please present to the City Council at your earliest convenience.

Sincerely


Milton F. Persin
Executive Secretary

LEGAL DESCRIPTION

Plat of survey of lot 14 and lot 15 (except the south 15 feet thereof) in block 6 in S. E. Gross second Oak Park addition in section 19, township 39 North, range 13, East of the third principle meridian, in Cook County, Illinois.

COMMON ADDRESS

1216 S. Clarence Avenue

REQUEST BY APPLICANT

Construct a new frame vinly covered garage-22'X 20'

APPLICANT-(Individually and Collectively)

Melodie & James Sapyta

DATE OF PUBLIC HEARING

May 18, 2010

DATE OF PUBLIC NOTICE PUBLICATION

April 28th, 2010-Berwyn Life Newspaper

MEMBERS PRESENT

Messrs: Castaldo, Fejt, Miller, Chrastka, Persin, and Mrs. Hernandez.

Mr. Malina was absent.

WHEREAS, IT IS HEREBY RESOLVED by the **BERWYN ZONING BOARD OF APPEALS, (the "BOARD")**, in a **PUBLIC MEETING** of the **BOARD** on the 18th day of May, in the year 2010, having considered all the facts presented at the Hearing of this matter;

WHEREAS, the APPLICANT has been duly informed that if: (a) the BOARD fully or partially approves the request of the APPLICANT; OR (b) the BOARD has rejected the request of the APPLICANT; OR (c) the BOARD has made no recommendation to the CITY COUNCIL; and the CITY COUNCIL wholly or partially approves the request of the APPLICANT, the APPLICANT must obtain a building permit within SIX (6) MONTHS after the date that the ORDINANCE is enacted;

The BOARD has reached its decision after considering the testimony of the witnesses and the documents presented both prior to and during the Hearing, briefly set forth as follows:

1. Mr. James E. Sapyta testified along with Mr. David D. Krecek, a representative of Danley's Garage Company. Mr. Sapyta stated that he purchased this 2 story frame residence in October of 2008, and title is in his name and in the name of his wife Melodi, as Joint Tenants. There presently is a frame garage at the rear southwest corner of the lot measuring 18.34' in length from east to west and 21.40' in width from north to south. The lot measures 125.62 feet in length from east to west and 35 feet in width from north to south.

2. He proposes to remove the present existing garage and replace with a new frame garage measuring 20 feet in length from east to west and 22 feet in width from north to south, and about 16'-6" or less in height to the top peak of the gable roof depending on where you measure as there is a dip in the ground level at the alley side. Plans do not include gutters. The rear yard area will measure 44.82' from the rear west wall of the residence to the yard east wall of the garage. Side yards will be 9 feet to the north and 4 feet to the south. There will be a 4 foot apron to the alley line with a double door leading into the alley and another double door at the east yard wall of the garage servicing the driveway at the south lot line which extends to Clarence Avenue. This driveway will also be replaced with new concrete. The residence has a full basement, a living room-dining room, kitchen, and a small sitting room on the first floor, and three (3) bedrooms with a full size bathroom on the second floor. He occupies the residence with his wife, Melodi.

3. Mr. Sapyta testified that he owns one vehicle, a Grand Cherokee Jeep, although he can park it in the present garage it is a very tight fit and leaves little room for storage. The new garage, with its larger dimensions, will allow him to park the vehicle in the garage with ease and also provide additional storage space both on the ground floor level and in the above loft area.

4. Mr. Krecek estimates the cost will be around \$28,000.00. There will be a double door at both the alley and yard side of the garage measuring about 7 feet high and 16 feet wide. They will replace the existing garage cement pad with new cement and install an all new electrical system. The trees at the rear of the lot will remain.

5. Alderman Nora Laureto was present but made no comment.

6. Mr. Joel Chrastka, the area investigator, submitted a written report which is incorporated by reference in this resolution. He discussed this matter with Mr. & Mrs. Sapyta on May 13th, and distributed the notices of the hearing on May 15th, 2010. The proposed new garage will replace an existing 2 ½ car garage 15 feet in height. The new garage will measure 20' x 22' and have a height of 16'-6". The present structure has one overhead door servicing a driveway which enters and exits from Clarence Avenue. The new garage will have two (2) 16 foot overhead doors, one servicing the driveway and the other allowing exit and entrance from and to the alley. The new garage will have a 6 foot clearance to the midpoint of the gable roof for storage. The existing garage was built in the 1940's and has noticeable dry rot and damaged wood where it meets the ground. Mr. Chrastka voted in favor of granting the variations necessary to construct the new garage.

7. Messrs: Castaldo, Fejt, Miller, Persin, and Mrs. Hernandez all agreed with the area investigator and voted in favor of granting the variations necessary to construct the new garage in accordance with the testimony at the hearing, documents presented, and the content of this resolution. The final vote was 6 to 0 in favor. Comments were that the new garage will give the applicant more room to park his vehicle and to store his lawn equipment, tools, etc. and will improve the visual character of the lot.

This resolution reflects the evidence as was presented at the hearing by testimony of the witnesses and the documents presented, and is adopted on the 18th day of May, 2010.

BERWYN ZONING BOARD OF APPEALS


Milton F. Persin, Executive Secretary

VARIATION ORDINANCE # _____

Be it ordained by the City of Berwyn that:

Whereas, the question of granting the Variation(s) included in this ordinance was referred to the Board of Zoning Appeals to hold a Public Hearing thereon;
Whereas, such Public Hearing was held after Public Notice was given in the manner provided by law;
Whereas, the said Board has made a report containing findings of fact, and has recommended the granting of said Variation(s);
Whereas, the Applicant MELODIE & JAMES SAPYTA
Has agreed to adhere to the Building Code of the City of Berwyn, Illinois;
Whereas, the Applicant has agreed that the representations made to the Zoning Board of Appeals and all other matters considered and as decided by the Zoning Board of Appeals shall be binding upon the Applicant and all of THEIR privies, successors and assigns;

AND WHEREAS, THE FINDINGS AND RECOMMENDATIONS OF THE ZONING BOARD OF APPEALS ARE HEREBY ADOPTED AND MADE A PART HEREOF;

NOW THEREFORE, be it ordained by the City Council of the City of Berwyn, Illinois:

Plat of survey of lot 14 and lot 15 (except the south 15 feet thereof) in block 6 in S. E. Gross second Oak Park addition in section 19, township 39 North, range 13, East of the third principle meridian, in Cook County, Illinois.

Variations as requested are hereby granted to allow the construction of a 20' X 22' garage ~~about~~ 16'-6" in height, in accordance with the testimony at the Hearing, documents presented, and the resolution.

This Ordinance shall become and be effective immediately upon its passage, approval and publication in the manner prescribed by law.

Passed this _____ day of _____, _____.

Number Voting Yes: _____ Number Voting No: _____

Absent: _____ Abstain _____

Approved this _____ day of _____, _____.

ATTEST:.

Tom Pavlik- City Clerk

Robert J. Lovero-Mayor



THE CITY OF BERWYN, ILLINOIS

Building A New Berwyn

ROBERT J. LOVERO, Mayor

700 West 26th Street • Berwyn, Illinois 60402-0701

Telephone: (708) 788-2660 • Fax: (708) 788-2675 • www.berwyn-il.gov

May 25, 2010

ZONING BOARD OF APPEALS

CHAIRMAN: Joel W. Chrastka

EXECUTIVE SECRETARY: Milton F. Persin

MEMBERS:

Dominick Castaldo

Robert W. Fejt

Mary Esther Hernandez

Lance C. Malina

Don Miller

Mayor and City Council
C/O City Clerk
6700 West 26th Street
Berwyn, Illinois 60402

**RE: Vazquez-1544 S. Kenilworth Avenue
Change in Non-Conforming Use**

Dear Mr. Pavlik:

Enclosed is a Resolution pertaining to the above captioned matter(s).

Since the Berwyn Zoning Board of Appeals did not pass or reject the above matter(s) by FOUR (4) or more votes, this resolution is being sent without any specific recommendation under Section 1244.05 (g) of the Zoning Code and the Rules and Regulations of the Zoning Board of Appeals. Review of the facts in the resolution should enable the City Council to reach a final decision.

Please place this matter on the City Council Agenda at your earliest convenience.

Sincerely

Milton F. Persin
Executive Secretary

I am also sending you an Ordinance you can use if the City Council chooses to approve the change in this Non-Conforming Use.

LEGAL DESCRIPTION

LOTS 23 AND 24 IN WALLECK'S SUBDIVISION OF BLOCK 54 IN THE SUBDIVISION OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE SOUTH 300 ACRES THEREOF) IN COOK COUNTY, ILLINOIS.

COMMON ADDRESS

1544 S. Kenilworth Avenue

REQUEST BY APPLICANT

Change in Non-Conforming Use by converting the storage shed on lot 23 into a garage and extending it 10 feet into the east yard area

APPLICANT-(Individually and Collectively)

Gerardo Vazquez

DATE OF PUBLIC HEARING

May 18, 2010

DATE OF PUBLIC NOTICE PUBLICATION

April 28, 2010, Life Newspaper

MEMBERS PRESENT

Messrs: Castaldo, Fejt, Miller, Chrastka, Persin, and Mrs. Hernandez.
Mr. Malina was absent.

WHEREAS, IT IS HEREBY RESOLVED by the BERWYN ZONING BOARD OF APPEALS, (the "BOARD"), in a PUBLIC MEETING of the BOARD on the 18th day of May, in the year 2010, having considered all the facts presented at the Hearing of this matter;

WHEREAS, the APPLICANT has been duly informed that if: (a) the BOARD fully or partially approves the request of the APPLICANT; OR (b) the BOARD has rejected the request of the APPLICANT; OR (c) the BOARD has made no recommendation to the CITY COUNCIL; and the CITY COUNCIL wholly or partially approves the request of the APPLICANT, the APPLICANT must obtain a building permit within SIX (6) MONTHS after the date that the ORDINANCE is enacted;

The BOARD has reached its decision after considering the testimony of the witnesses and the documents presented both prior to and during the Hearing, briefly set forth as follows:

1. Mr. Gerardo Vasquez testified along with Mr. Armondo Cuevas, the contractor. This parcel consists of two lots, 23 & 24, with two pin numbers, but is considered as one zoning lot under Section 1274.10 (b) of the Zoning Code. (two contiguous lots each lacking adequate area and dimension to qualify for a permitted use), and also qualifies as one zoning lot because of the way both lots are being utilized by the owner. This property was purchased in June 1998 and title is in Gerardo Vazquez and his wife, Maria, as Joint Tenants.

2. Lot 23 is improved with a three flat brick building and there is a shed like storage building measuring 14.20' from east to west and 21.66' from north to south, located at the rear of the lot with the west wall of the building right on the alley lot line. The west alley wall has been bricked solid with no openings and there are two service doors at the yard east wall for entrance to and exit from the shed into the rear yard and from the yard into the shed. It appears that this building may have served as a garage many years ago. Lot #24 is improved with another smaller shed like storage building measuring 14.46' in length from east to west and 19.80' in width from north to south, a height of 12 feet, with a service door located at the south 16th street side of the lot. The witness testified that both are being used for storage purposes.

3. This building has been described as a Non-Conforming Use structure by the Applicant and the Building Director in his declination letter, however, the area investigator states that there is no record in the City Hall indicating that this property was registered as a Legal Non-Conforming Use by the former owner, and the witness admits that he never did register the property as a Non-conforming Use. The deadline for registration was April 1, 1995, a good three years before the present owner took title. Mr. Persin explained that the City Council back in March of 2007 authorized the Building Director to review any such cases where the former owner did not register the property and then can allow registration upon the new owner submitting evidence to substantiate the Non-Conforming Use. New owner must submit a copy of the latest County Tax Bill; Copy of the latest Water Bill; Rental receipts for the last 12 months, if the property involves rental; and a copy of Federal Income Tax form 1040 Schedule E, plus any other documents that the Building Director may deem necessary.

4. This building has numerous violations of the Zoning Code, however upon proper registration as a Legal Non-Conforming Use, all such violations shall then be included and allowed within the classification of the property as a Legal Non-Conforming Use. Therefore, regardless of the decision that will be rendered, the Applicant must register the property as a Legal Non-Conforming Use if he wants to confirm that status. Before the Zoning Board can make a decision as to whether or not to allow this change in the Non-Conforming Use, the applicant must first substantiate that the property has the status of a legal Non-Conforming Use and the Board will verify by vote that this is a condition precedent to any other decision of the Zoning Board.

5. The Applicant proposes to renovate the shed on Lot 23 into a garage by adding a 10 foot cement block addition to the rear east side of the structure, with a 9' X 16' double garage door at the alley west end and a 7' X 8' double door at the yard east end of the property which will leave a rear yard of 55'-7-5/8" in depth. The roof will be extended as a gable roof to a peak height of 14 feet. There is no side yard at the north end and a distance of 6 feet between the south wall of the proposed garage and the north wall of the shed on Lot 24. There is a 3 foot cement walk to the south of the proposed garage extending to the front of the lot but no driveway. That shed on lot 24 shall remain and no other changes are planned at this time. The total dimensions of the new garage shall be 24'2" in length from east to west and shall measure 21'-7-7/8" in width from north to south. The alley double door needs to be 9 feet high so that he can fit a larger vehicle in the garage in the future. The alley measures 16 feet in width.

6. Mr. Cuevas stated that the total cost for the garage addition and new sidewalk walkway will be around \$13,800.00.

7. Mr. Vazquez testified that there is a two flat to the north of this lot. Plans call for gutters to be installed on the new garage with the water going into the alley. There will be no apron at the west end as the garage west wall rests right on the alley lot line. The loft area will measure about 5 feet for additional storage space.

8. The main building has no basement and consists of three apartments. The owner occupies the second floor apartment and the other two apartments are occupied by tenants. The first and second floor apartments have 2 bedrooms, a kitchen, living room and the

3rd level apartment has one bedroom, a living room, kitchen, and bathroom. Three people occupy the first two apartments and two occupy the third upper apartment. The witness states that he owns three vehicles, one being a pickup truck and a motorcycle. He will park two of the vehicles and the motorcycle in the new garage and use the rest of the area and the shed on lot 24 for storage of lawn equipment, tools, etc. He has no intention of using either of the accessory buildings for any business purpose. Neither of the accessory buildings shall be used by the two tenants for any purpose.

9. Mrs. Mary Esther Hernandez, the area investigator, presented a written report which is incorporated by reference in this resolution. She distributed notices of the zoning meeting on the 1500 block of Kenilworth. Her investigation indicates that the property was purchased by the applicant in 1998 and it has two accessory buildings, one on each lot. Mr. Vazquez has never made use of the shed as a garage. The applicant told her that he owns a Van, his personal car and soon his son will be driving and will have his own car, so he needs a garage as street parking is scarce. He plans to leave the existing side walls (north and south and just extend to the east, with overhead doors at both the west and east end. He did consider a total construction of a new garage, but the renovation will save him around \$5,000.00. Mrs. Hernandez voted in favor of granting the change in this Non-Conforming Use by renovation of the garage as described and also voted in favor of the applicant having to present sufficient evidence to the Building Director to allow registration of the property as a Legal Non-Conforming Use as a condition precedent.

10. Messrs: Castaldo and Fejt agreed with the area investigator and voted in favor of granting a change in this Non-Conforming Use as described and also voted that the applicant must present sufficient evidence to the Building Director to allow registration of the property as a Legal Non-Conforming Use as a condition precedent. Messrs: Miller, Chrastka and Persin voted against granting a change in this Non-conforming Use as described but voted that if the applicant wants to maintain a Non-Conforming Use status of the property, then the applicant must present sufficient evidence to the Building Director to allow registration of the property as a Legal Non-Conforming Use, regardless of what final decision is made by the City Council.

A. The final vote was 3 in favor and 3 against granting this change in a Non-Conforming Use to enlarge the garage on Lot 23 by 10 feet to the East along with the other described renovations. Since the Berwyn

Zoning Board of Appeals did not pass or reject the change in this Legal Non-Conforming Use described by FOUR (4) or more votes, the Board of Appeals submits this resolution without any specific recommendation under Section 1244.05 (g) of the Zoning code and the Rules and Regulations of the Zoning Board of appeals. Comments of those in favor were that use of this garage will get some cars off the street. Those opposed were concerned about the west wall of the garage being on the alley lot line with no apron, which will make it more difficult to enter and exit the garage. Also, it seems that it would be much more desirable to remove the building on lot 23 and build a new garage further east into the yard area with a reasonable apron to the alley. This extension to the garage will make this Non-Conforming property even more undesirable and out of harmony with the other buildings in the area.

B. The final vote was 6 to 0 in favor of the applicant submitting sufficient evidence to the Building Director to substantiate the status of a Legal Non-Conforming Use as a condition precedent if the City Council approves the change, and if the City Council does not approve the change, then the applicant must get approval of the registration to maintain the status of a Legal Non-Conforming Use.

This resolution was prepared in accordance with the testimony at the hearing and the documents presented.

BERWYN ZONING BOARD OF APPEALS



Milton F. Persin-Executive Secretary

CHANGE IN NON-CONFORMING USE ORDINANCE

Be it ordained by the City of Berwyn that:

Whereas, the question of granting a change in a Non-Conforming Use, included in this ordinance was referred to the Board of Zoning Appeals to hold a Public Hearing thereon;

Whereas, such Public Hearing was held after Public Notice was given in the manner provided by law;

Whereas, the said Board has made a report containing findings of fact, and has recommended the granting of said change in the Non-Conforming Use;

Whereas, the Applicant GERARDO VAZQUEZ
has agreed to adhere to the Building Code of the City of Berwyn, Illinois;

Whereas, the Applicant has agreed that the representations made to the Zoning Board of Appeals and all other matters considered and as decided by the Zoning Board of Appeals shall be binding upon the Applicant and all of
HIS privies, successors and assigns;

AND WHEREAS, THE FINDINGS AND RECOMMENDATIONS OF THE ZONING BOARD OF APPEALS ARE HEREBY ADOPTED AND MADE A PART HEREOF;

NOW THEREFORE, be it ordained by the City Council of the City of Berwyn, Illinois:

LOTS 23 AND 24 IN WALLECK'S SUBDIVISION OF BLOCK 54 IN THE SUBDIVISION OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE SOUTH 300 ACRES THEREOF) IN COOK COUNTY, ILLINOIS.

A change in this Non-Conforming Use property is hereby granted to allow the conversion of the storage shed on lot 23 into a garage and extending it 10 feet east into the yard area.

This Ordinance shall become and be effective immediately upon its passage, approval and publication in the manner prescribed by law.

Passed this _____ day of _____, _____.

Number Voting Yes: _____ Number Voting No: _____

Absent: _____ Abstain _____

Approved this _____ day of _____, _____.

ATTEST:.

Tom Pavlik- City Clerk

Robert J. Lovero-Mayor



**I. Reports and Communications From
Aldermen, Committees other Boards
and Commissions**



Robert J. Lovero
Mayor



**Berwyn Historic
Preservation Commission**

A Century of Progress with Pride

6700 West 26th Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2860 Fax: (708) 788-2875
www.berwyn-il.gov

June 2, 2010

Mayor Robert J. Lovero
Members of City Council

Re: 7008 W. Cermak Rd.

Mayor Lovero,

During its last regularly scheduled meeting (May 27, 2010), the Berwyn Historic Preservation Commission reviewed the proposed exterior alteration of 7008 W. Cermak Rd. (rendering attached).

As always, our goal is to maintain the existing context of the area and its component structures – that is, the image, spirit, and character of our city as exemplified by its built environment. To that end, re-use of existing materials and restoration of original architectural features should be important components of this renovation as they most exemplify the building's cultural and architectural importance.

Attached, please also find prior findings of the Illinois Historic Preservation Agency (IHPA) regarding this building in response to earlier development plans for the area. Anthony Rubano of IHPA further stated on May 27, 2010:

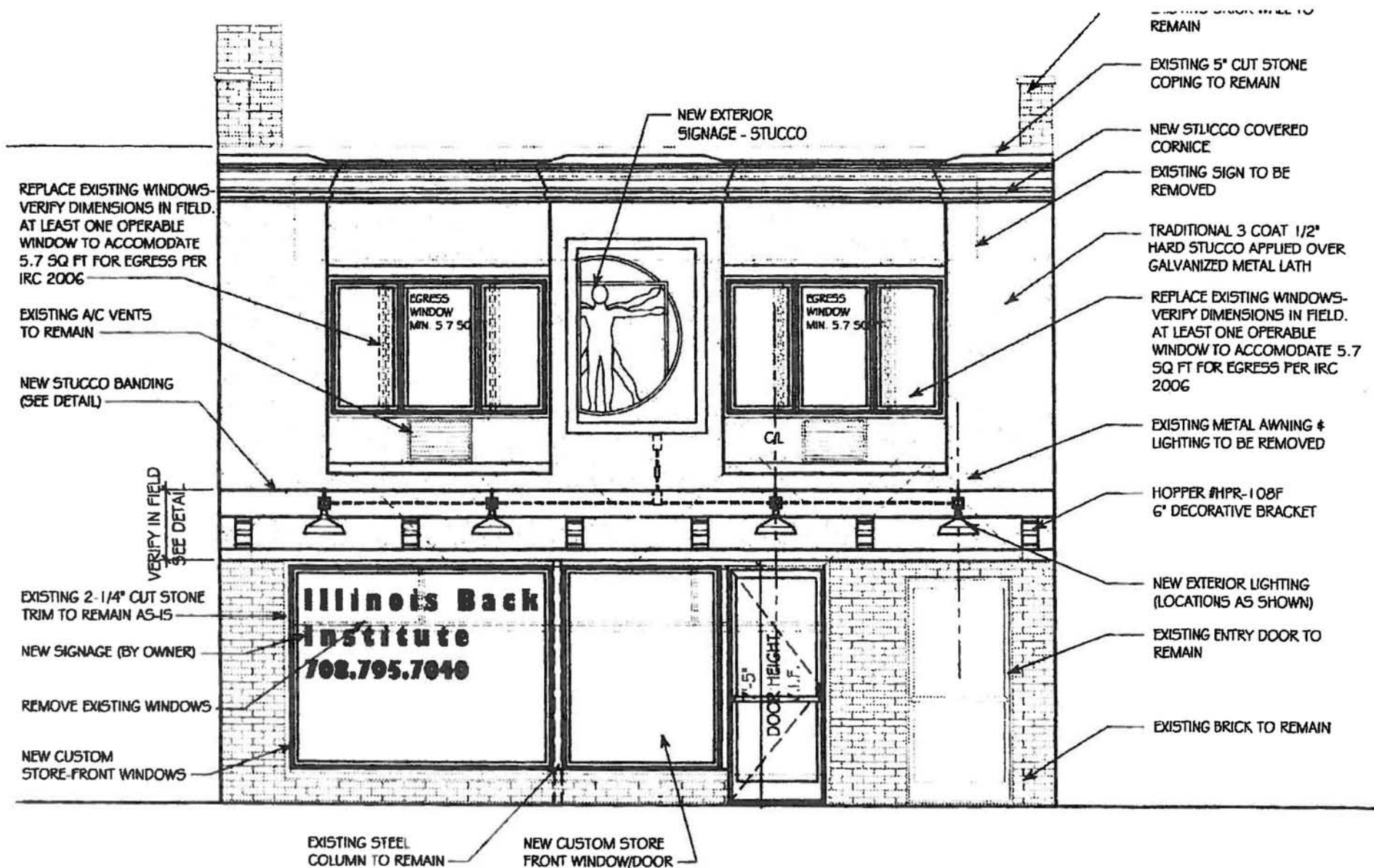
'Our rendering would recommend keeping the elements that define its character – its folded plate canopy, dark brick, aluminum upper floor windows, etc. We would suggest changing the large plastic sign at the top of the building to something more in proportion with the façade. One option is to remove it and use instead circular disks that would hang from the apexes of the folded plates. There are four areas, one under each apex. Each circle could hold one word of the Illinois Back Institute and then its phone number in the easternmost circle. We would also recommend adding exterior architectural lighting to accent the façade's Modernist elements. There are already downlights in the canopy. I don't know if these work or if they are used. If a different signage solution is used than the one I've just described, these lights should be used regularly.'

The current configuration of an amber glass clerestory above a solid stone panel suits the requirements of a medical office, which does not require and in many instances eschews large street windows for privacy reasons. So our first recommendation is to leave the display zone in its current configuration. If, for some reason, the waiting room must have additional window area, we would recommend adding a clear glazed area below the amber glass but retaining a zone of the grey stone, which I am assuming to be original to the storefront. The new windows should have clear anodized aluminum frames and a thick central mullion, similar to the amber transoms, and would be as wide as the amber transoms. This way, the mixture of masonry elements that defines the building's character is maintained.'

The Commission believes these recommendations should play an important role in the Council's consideration of this issue, and we will make ourselves readily available for any questions that may arise.

Respectfully submitted,

The Berwyn Historic Preservation Commission



A

FRONT ELEVATION

SCALE: 1/4"=1'-0"



**The Back Center
7008 W. Cermak Rd.**

Overall, this early to mid 1960s commercial building features severe geometry to make a Modernist design statement. The smooth, bright, plain trim around the large upper-floor windows and the display windows is in purposeful contrast to the imposing black brick and textured stone of the front wall. It is possible that the random ashlar lannon stone of the display windows was a later alteration, but it is just as possible that the building was originally designed as it currently appears, as it was very much the fashion to juxtapose smooth and rough textures and contrasting colors. The most exuberant and most progressively modern element of this building is its folded plate canopy that runs the length of the front façade. This, along with the material selection of the lannon stone and the staggered common bond of the black brick, helps to place the construction date of the building between 1960 and 1965. It fits comfortably within the general style of Popular Modernism that appears across the country in small commercial commissions. The style is certainly Modernist but is made more accessible with texture and a nod towards structural expression. In this instance, the folded plate canopy hints at larger, well published experiments in pioneering structural systems, like the folded plate roof of the Turin Exhibition Building by Pier Luigi Nervi of 1948 or the folded dome of the Assembly Hall at the University of Illinois Urbana Champaign of 1963 by Harrison and Abramovitz. The use of the folded plate structure here is purely decorative; it catches the eye in a crowded commercial district and it clearly and deliberately links the building to the larger world of progressive architecture. The large internally lit plastic sign at the parapet level is a more recent and non-historic addition. The aesthetics of the building would be much improved if this sign were removed.



J. Staff Reports

The City of Berwyn



Brian L. Pabst
City Administrator

A Century of Progress with Pride

June 2, 2010

Thomas J. Pavlik
City Clerk
Berwyn City Hall
6700 West 26th Street
Berwyn, IL 60402

Re: Voluntary Separation and Release Agreement

Dear Mr. Pavlik,

Please put this item "Voluntary Separation and Release Agreement" on the June 8, 2010 agenda, authorizing the approval of the above referenced matter based upon the City Council authority granted in Executive session.

Respectfully,

Brian Pabst
City Administrator

The City of Berwyn



Anthony T. Bertuca
City Attorney

A Century of Progress with Pride

June 8, 2010

Honorable Mayor, Robert J. Lovero
And Members of the Berwyn City Council

Re: Settlement of Tax Rate Objections
for 2003 and 2004

Ladies and Gentlemen:

The Law Department is requesting your authority to settle the Tax Rate Objection Cases for 2003 and 2004. These matters will be discussed in Executive Session on June 8, 2010.

Very truly yours,

Anthony T. Bertuca
City Attorney

The City of Berwyn

J-3



Anthony T. Bertuca
City Attorney

A Century of Progress with Pride

June 8, 2010

Members of the Berwyn City Council

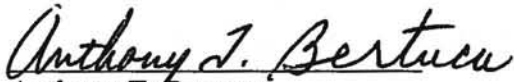
Re: Intergovernmental Agreement between the Board of Education
of South Berwyn School District 100 and the City of Berwyn

Ladies and Gentlemen:

The attached Intergovernmental Agreement between the above captioned entities, along with the attached exhibits is being submitted for your consideration.

The Law Department, along with the Mayor and South Berwyn School District 100 are collectively requesting your concurrence in the adoption and approval of this Agreement.

Respectfully submitted,


Anthony T. Bertuca
City Attorney

**INTERGOVERNMENTAL AGREEMENT BETWEEN THE BOARD OF EDUCATION
OF SOUTH BERWYN SCHOOL DISTRICT 100 AND THE CITY OF BERWYN
RELATIVE TO THE CONSTRUCTION ON AND USE OF CERTAIN CITY PARKWAY
PROPERTY FOR SCHOOL PICK-UP, DROP-OFF AND PARKING PURPOSES**

This Intergovernmental Use Agreement ("Agreement") is made and entered into this _____ day of _____, 2010, by and between THE BOARD OF EDUCATION OF SOUTH BERWYN SCHOOL DISTRICT 100, an Illinois public school district (the "School District") and the CITY OF BERWYN, an Illinois municipal corporation (the "City").

WITNESSETH

WHEREAS, the City is an Illinois Municipal Corporation and Home Rule Unit of Local Government under Section 6(a) of Article VII of the Illinois Constitution of 1970; and

WHEREAS, the School District is an Illinois public school district organized and existing pursuant to the provisions of the Illinois School Code, 105 ILCS 5/1-1 et seq.; and

WHEREAS, the City is the owner of certain parkway areas adjacent to the following seven schools within the City and School District, Berwyn, Cook County, Illinois:

1. Emerson Elementary School, 3105 S. Clinton Avenue;
2. Heritage Middle School, 6850 W. 31st Street;
3. Hiawatha Elementary School, 6539 W. 26th Street;
4. Irving Elementary School, 3501 S. Clinton Avenue;
5. Komensky Elementary School, 2515 Cuyler Avenue;
6. Pershing Elementary School, 6537 W. 37th Street; and
7. Piper Elementary School, 2435 S. Kenilworth Avenue.

WHEREAS, the School District, subject to the terms and conditions set forth herein, desires to construct, operate and maintain bus and automobile pick-up, drop-off, and parking areas on portions of the parkway properties owned by the City at the above seven schools. The specific locations of the portions of parkway subject to such construction and use pursuant to this Agreement (the "Subject Property") are indicated on the site plan drawings attached hereto as **Exhibit A** and made a part hereof ("Site Plans").

WHEREAS, the City, subject to the terms and conditions set forth herein, desires to authorize the construction on and the use of the Subject Property by the School District for bus and automobile pick-up, drop-off, and parking purposes; and

WHEREAS, the parties hereto hereby express the desire through this Agreement to address the construction, operation and maintenance of the Subject Property;

WHEREAS, the City and School District are authorized to enter into this Intergovernmental Agreement for the purposes set forth herein pursuant to the provisions of Article VII, Section 10 of the Illinois Constitution of 1970 and the Intergovernmental Cooperation Act, 5 ILCS 220/1 et seq.

NOW, THEREFORE, in consideration of the foregoing, the mutual covenants and conditions contained in this Agreement and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. **Use of the Subject Property**: The Subject Property owned by the City shall be used by the School District for the purpose of constructing, operating and maintaining bus and automobile pick-up, drop-off and parking areas and related improvements (collectively, the "Project Improvements"), as indicated on the Site Plans attached as **Exhibit A**.

2. **Term and Effective Date**: Subject to early termination as set forth herein, this Agreement shall be valid and binding upon the City and School District for a term of ninety nine years from June 9, 2010 (the "Effective Date").

3. **No Fee**: The School District, in consideration of the right to use of the Subject Property for the purposes set forth herein, agrees to pay to the City as a use fee for the Subject Property the annual sum of One Dollar (\$1.00). The use fee for the entire term of this Agreement shall be paid by the School District to the City within thirty (30) days of the Effective Date of this Agreement, at the office of the City.

4. **Construction**: The School District is authorized to construct and install the Project Improvements on the Subject Property, to consist of demolition work, tree removal and site preparation, asphalt paving, concrete work, electrical work and installation of signage (collectively, the "Project Work"). Construction Documents setting forth in detail all plans and specifications for demolition, construction and installation of the Project Improvements, including demolition plans, site geometry plans, grading and paving plans, and street lighting modification plans are attached hereto as **Group Exhibit B** and made a part hereof.

The School District shall be solely responsible for the performance of the Project Work, including the entire cost of constructing the Project Improvements. All Project Work shall be performed in a good and workmanlike manner, in substantial conformance with the Construction Documents attached hereto as **Exhibit B**, and in

conformance with all with all applicable federal, state and county laws and regulations and the City's Code, ordinances and regulations. The School District shall perform landscape and other restoration activity on any City property adjacent to the Subject Property that is disturbed or otherwise damaged during construction.

5. Maintenance and Operation: Following the conclusion of the Project Work, and except as otherwise mutually agreed to between the parties from time to time, the School District shall be solely responsible for the operation, supervision, maintenance, inspection, repair, or replacement of said Project Improvements upon the Subject Property, including but not limited to:

A. Conducting regular inspections of the conditions of the Project Improvements on the Subject Property;

B. Keeping and maintaining the Subject Property and Project Improvements in good order and safe repair;

C. Performing regular maintenance activities on the Subject Property, including snow removal, debris and trash removal, the care, placement and replacement of signage as necessary, and appropriate striping of the pick-up, drop-off and parking areas;

D. Investigation of all reported accidents on the Subject Property and taking such steps as necessary to repair and correct any dangerous conditions;

E. The posting of signage providing appropriate rules and warnings for use of the Project Improvements, setting forth any limitations on parking and/or other use of the Project Improvements, and for directing users in the pick-up, drop-off and parking in the areas of the Subject Property designated for such activities. All signage shall comply with City ordinances;

F. Providing proper and adequate adult supervision for the loading and unloading of school buses on the Subject Property; and

G. Promptly and diligently complying with all laws and ordinances in effect as may pertain to the use of the Subject Property by the School District.

6. Limitations on Use: Following conclusion of the Project Work, the School District shall at all times have priority to use the Subject Property for school or school-related activities and the uses set forth herein, and the City shall not use the Subject Property at any time or in any manner that would interfere with the School District uses. Except as may be expressly provided herein to the contrary, all use of the Subject Property shall be in compliance with the ordinances, policies, rules and regulations of the City applicable to use of public rights-of-way and property, and in compliance with the policies, rules and regulations of the School District generally applicable to the use of School District grounds.

7. **Condition of Subject Property:** The School District covenants and agrees that it has had the opportunity to inspect the Subject Property and that such Subject Property is in good order and condition. The School District acknowledges and agrees that no representations, warranties (expressed or implied) or covenants with respect to the condition or maintenance of the Subject Property have been made to the School District.

8. **Default/Breach and Remedy:**

A. Default. The following acts or omissions of any Party shall constitute a default or breach of this Agreement:

- (1) Failure or refusal by the City to comply with any of its obligations set forth in this Agreement; or
- (2) Failure or refusal by the School District to comply with any of its obligations set forth in this Agreement.

B. Remedies. If either Party defaults or breaches in the performing of any of its obligations under this Agreement, the non-breaching Party shall give the breaching Party written notice of such default/breach, and if the breaching Party does not cure the default/breach within ninety (90) days after the giving of such notice (or if such default is of such nature that it cannot be completely cured within such period, if the breaching Party does not commence such curing within ninety (90) days and thereafter proceed with reasonable diligence and in good faith to cure such default/breach), then the non-breaching Party may terminate this Agreement. Upon termination of this Agreement, the Parties shall have the ability to pursue all available legal rights and remedies in court to assert or protect their rights.

9. **Termination:** In addition to termination by lapse of time or for default, if the School District or the City mutually determine prior to the end of the Term, that it is in the best interests of the parties to terminate this Agreement in its entirety or as to use of a particular portion of the Subject Property, the Agreement may be terminated in its entirety or as applied to any portion of the Subject Property at any time by mutual written Agreement of the parties.

10. **Ownership:** The Subject Property shall remain the property of the City at all times during the term of this Agreement, and other than as specified herein, the City shall remain responsible for the Subject Property as owner.

11. **Amendment:** No extension, change, modification or amendment of these terms and conditions of any kind whatsoever shall be effective unless made in writing and executed by both the City and the School District.

12. **Indemnification and Hold Harmless:**

A. The School District hereby agrees to defend, indemnify, and hold the City, its representatives, officers, appointed and elected officials, mayor and council members, agents, volunteers, employees, contractors and consultants (collectively, the "City Affiliates") harmless from: (1) all liabilities, losses, claims or damages for any loss or damage to property or any injury to, or death of, any person that may be occasioned by or related to any cause arising out of the performance of the Project Work and construction of the Project Improvements or the maintenance or use of the Subject Property or Project Improvements by the School District, its officers, agents, employees, contractors, or consultants; and (2) any liabilities, losses, claims or damages arising out of a failure or claimed failure of the School District, its representatives, officers, appointed and elected officials, board president and members, superintendent, agents, volunteers, employees, contractors and consultants (collectively, the "School District Affiliates") to comply with the School District's covenants or obligations contained in this Use Agreement.

B. In the event any claims shall arise under (A) above, the School District shall defend and pay any judgment or settlement against the City in such claims. The City shall tender the defense to the School District. The City, in its discretion, may hire counsel, at the City's sole expense, to advise the City with respect to such claims; the hiring of such counsel shall not relieve the School District from its duty to defend and to pay any judgment or settlement against the City in such claims. Except where a settlement completely and forever releases the City from any and all liabilities without financial contribution by the City or its insurer (including any intergovernmental risk management pool), the School District shall not agree to any settlement of claims without the City's approval.

C. The City hereby agrees to defend, indemnify, and hold the School District and School District Affiliates harmless from: (1) all liabilities for any loss or damage to property or any injury to, or death of, any person that may be occasioned by or related to any cause not arising out of the performance of the Project Work or construction of the Project Improvements or the maintenance, or use of the Subject Property or Project Improvements by the School District, its officers, agents, employees, contractors, or consultants; and (2) any liabilities, losses, claims or damages arising out of a failure or claimed failure of the City or City Affiliates to comply with the City's covenants or obligations contained in this Use Agreement.

D. In the event any claims shall arise under (C) above, the City shall defend and pay any judgment or settlement against the School District in such claims. The School District shall tender the defense to the City. The School District, in its discretion, may hire counsel, at the School District's sole expense, to advise the District with respect to such claims; the hiring of such counsel shall not relieve the City from its duty to defend and to pay any judgment or settlement against the School District in such

claims. Except where a settlement completely and forever releases the School District from any and all liabilities without financial contribution by the School District or its insurer (including any intergovernmental risk management pool), the City shall not agree to any settlement of claims without the School District's approval.

13. Insurance: During the term of this Agreement, the School District agrees to have the City and City Affiliates named as additional insureds on its insurance certificates for the purpose of covering the City and City Affiliates relative to any liabilities, losses, claims or damages that may be brought against the City and City Affiliates arising out the construction on, or maintenance or use of the Subject Property by the School District pursuant to this Agreement. The School District shall maintain, during the term of this Agreement, the following types of insurance, written on the comprehensive form and as an "occurrence" policy, in not less than the following amounts:

Comprehensive General Liability - \$1,000,000 per occurrence and minimum general aggregate of \$2,000,000.

Property Damage - \$500,000 per occurrence.

Workers' Compensation – Statutory.

Automobile Coverage - \$1,000,000 per occurrence.

Excess Liability - \$1,000,000 per occurrence and minimum general aggregate of \$3,000,000.

The School District shall provide the City with satisfactory proof of the above insurance requirements in the form of a certificate executed by its insurer upon request.

14. Authority: The Parties warrant and represent that the execution, delivery of and performance under this Agreement is pursuant to authority, validly and duly conferred upon the Parties and the signatories hereto.

15. Notice: Any notice to be given pursuant to this Agreement shall be effective when personally delivered to the Mayor of the City, or to the Superintendent of the School District, or when deposited in the United States mail, sent by certified or registered mail, return receipt requested, mailed postage prepaid by the sender, addressed as follows:

If to the City:

City of Berwyn
6700 26th Street
Berwyn, Illinois 60540
Attn: Mayor

If to the District:

South Berwyn School District 100
3401 S. Gunderson Avenue
Berwyn, Illinois 60540
Attention: Superintendent

16. **Non-Waiver:** Failure by either Party to insist on strict performance of any of the terms, provisions, obligations or conditions of this Agreement or to exercise any of its rights hereunder shall not waive such rights, and the Parties shall have the right to enforce the terms, provisions, obligations and conditions of this Agreement at any time and take such action as might be lawful or authorized hereunder, either in law or equity.

17. **Severability:** Wherever possible, each section or provision of this Agreement shall be interpreted in such manner as to be effective and valid under applicable law; but if any section or provision of this Agreement shall be prohibited by or invalid under applicable law, such provision shall be ineffective to the extent of such prohibition or invalidity, without invalidating the remainder of such section or provision or the remaining sections or provisions of this Agreement.

18. **Entire Agreement and Applicable Law:** This Agreement contains the entire understanding of the Parties, supersedes all prior understandings relating to the subject matter contained herein, and cannot be changed or terminated orally. This Agreement, and all questions of interpretation, construction and enforcement hereof, and all controversies hereunder, shall be governed by the applicable statutory and common law of the State of Illinois.

IN WITNESS WHEREOF, the parties hereto, having been first duly authorized by appropriate action of their respective corporate bodies, have executed this Agreement in duplicate.

The CITY OF BERWYN

BOARD OF EDUCATION OF SOUTH
BERWYN SCHOOL 100

By: _____
Mayor

By: _____
Board President

Attest: _____
City Clerk

Attest: _____
Secretary

Date: _____

Date: _____

EXHIBIT A

SITE PLANS

BERWYN SITE IMPROVEMENTS

3401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402

BERWYN SOUTH SCHOOL DISTRICT 100

HERITAGE MIDDLE SCHOOL
6850 W 31ST STREET

EMERSON ELEMENTARY SCHOOL
3105 S CLINTON AVENUE

HIAWATHA ELEMENTARY SCHOOL
6539 WEST 26TH STREET

IRVING ELEMENTARY SCHOOL
3501 S CLINTON AVENUE

KOMENSKY ELEMENTARY SCHOOL
2515 CUYLER AVENUE

PERSHING ELEMENTARY SCHOOL
6537 W 37TH STREET

PIPER ELEMENTARY SCHOOL
2435 S KENILWORTH AVENUE

ARCHITECT
GREENASSOCIATES, INC.
111 DEERLAKE ROAD, SUITE 135
DEERFIELD, ILLINOIS 60015
847-317-0852 F 847-317-0899

CIVIL ENGINEER
ERIKSSON ENGINEERING
ASSOCIATES, LTD.
145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
847-223-4804 F 847-223-4864

MEP ENGINEER
CS2 DESIGN GROUP, LLC
837 EAST OAKTON STREET
ELK GROVE, ILLINOIS 60007
847-981-1880 F 847-981-1885

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CIVIL DRAWINGS	
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1-110	PROPOSED IMPROVEMENTS



CONSTRUCTION DOCUMENTS

1315-201004

GREEN ASSOCIATES

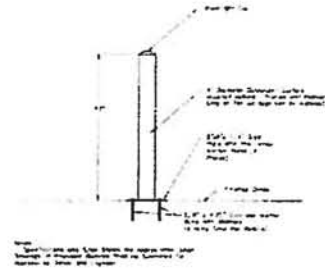
ARCHITECTURE
CONSTRUCTION SERVICES

BERWYN SOUTH SCHOOL DISTRICT 100
BERWYN SITE IMPROVEMENTS

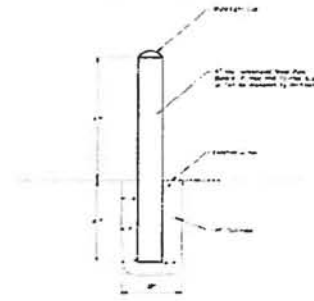
PROJECT NUMBER 1315-201004
02 APR 2010



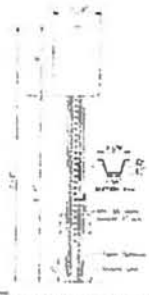
ACCESSIBLE PARKING SIGN



MOUNTABLE BOLLARD DETAIL



STANDARD BOLLARD DETAIL



STANDARD SIGN DETAIL



STUDENT LOADING / UNLOADING SIGN DETAIL



SCHOOL BUS LOADING SIGN DETAIL (R7 79)



DETECTIBLE WARNING TILE

ERIKSSON ENGINEERING ASSOCIATES, LTD.
 25 COMMERCE DRIVE SUITE A
 CHICAGO, ILLINOIS 60607
 Phone: 312.327.4600
 Fax: 312.327.4604
 Toll Free: 800.368.4604
 Email: Eriksson@eriksson.com
 Website: www.eriksson.com

GREEN ASSOCIATES
 ARCHITECT
 GREEN ASSOCIATES, INC.
 111 DEERLARK ROAD, SUITE 100
 DEERFIELD, ILLINOIS 60015
 847.317.0800 F 847.317.0806

CIVIL ENGINEER
 ERIKSSON ENGINEERING ASSOCIATES, LTD.
 140 COMMERCE DRIVE, SUITE A
 CHICAGO, ILLINOIS 60607
 847.327.4604 F 847.327.4604

MEP ENGINEER
 CH2M HILL GROUP, LLC
 207 EAST DAVENPORT STREET
 CHICAGO, ILLINOIS 60607
 847.461.1800 F 847.461.1808

BERWYN SITE IMPROVEMENTS
 SOUTH BERWYN SCHOOL DISTRICT 100
 3401 S GUNDERSON AVENUE
 BERWYN, ILLINOIS 60402

CONSTRUCTION DETAILS

Project No: 1315-201004
 Project Name: CONSTRUCTION DOCUMENTS
 Date: 02 APR 2010

Author: [Blank] Designer: [Blank]
 No. Description Date

C-7.0

AUTHOR: 3/29/10 2:10:48 PM FILE: \\P111\3207\004\3207004-02\2010-04-07.dwg

ARCHITECT
 GREEN ASSOCIATES, INC.
 111 DRYDEN AND MONROE AVENUE, SUITE 100
 CHICAGO, ILLINOIS 60605
 TEL: 312/342-1100 FAX: 312/342-1108

ENGINEER
 ERIKSSON ENGINEERING ASSOCIATES, LTD.
 100 W. JACKSON STREET, SUITE 200
 CHICAGO, ILLINOIS 60604
 TEL: 312/467-1100 FAX: 312/467-1108

DATE: 08/19/98
 DRAWING NO.: 98-001
 PROJECT: BERWYN SCHOOL DISTRICT
 3401 S GUNDERSON AVENUE
 BERWYN, ILLINOIS 60402

CONSTRUCTION DETAILS

BERWYN SITE IMPROVEMENTS
 SOUTH BERWYN SCHOOL DISTRICT CT 100
 3401 S GUNDERSON AVENUE
 BERWYN, ILLINOIS 60402

DATE: 08/19/98
 DRAWING NO.: 98-001
 PROJECT: BERWYN SCHOOL DISTRICT
 3401 S GUNDERSON AVENUE
 BERWYN, ILLINOIS 60402

CONSTRUCTION DOCUMENTS
 SHEET C-7.1



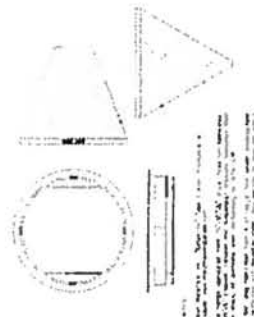
ERIKSSON ENGINEERING ASSOCIATES, LTD.
 100 W. JACKSON STREET, SUITE 200
 CHICAGO, ILLINOIS 60604
 TEL: 312/467-1100 FAX: 312/467-1108



CONCRETE WHEEL STOP



PORTLAND CEMENT CONC. SIDEWALK



"CATCH-ALL" INLET PROTECTORS



TYPE B CURB



B-4 1/2 CURB & GUTTER

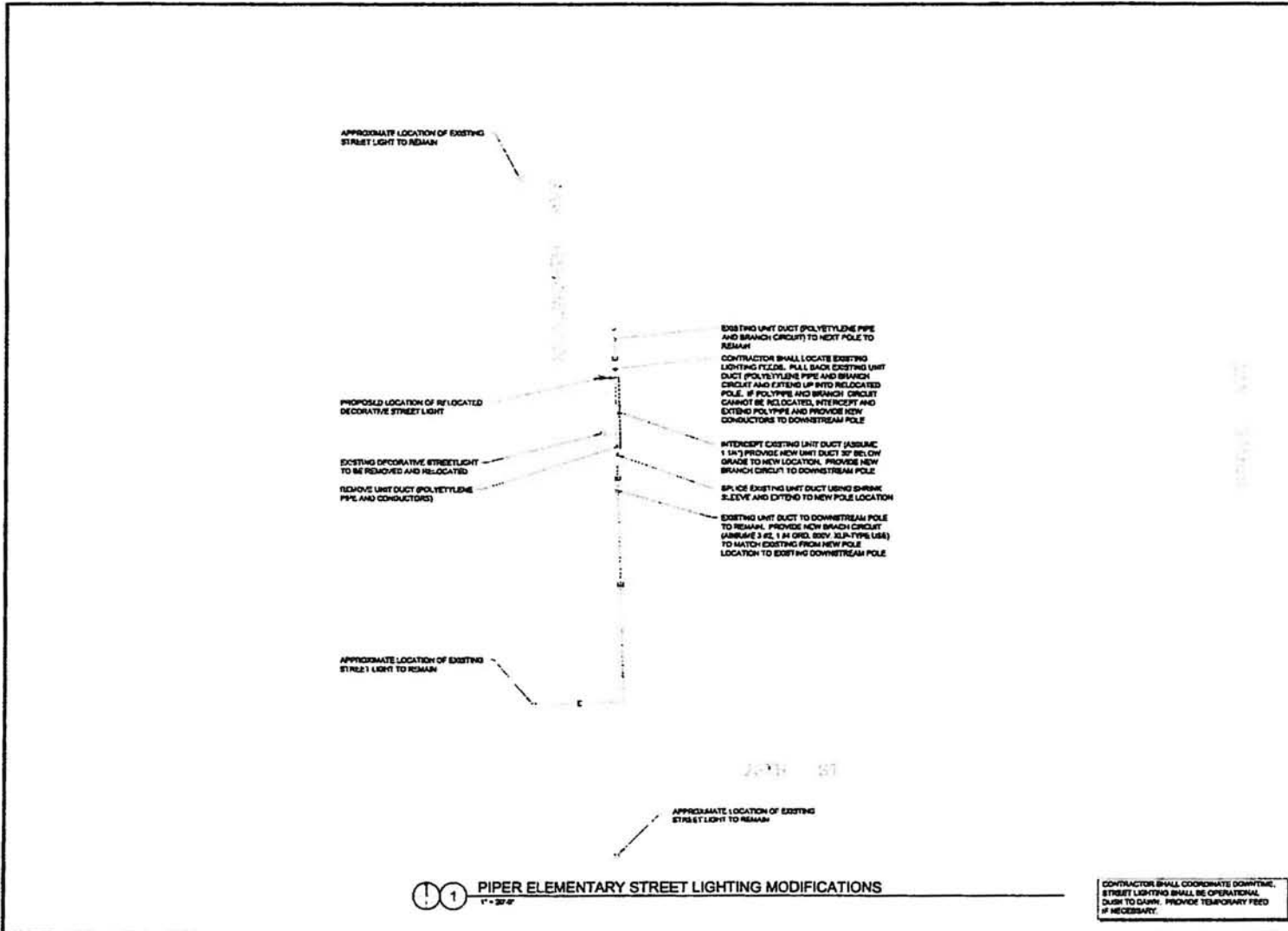


B-6 1/2 CURB & GUTTER



B-6 1/2 CURB & GUTTER

REF: 1315-2010H



1 1 PIPER ELEMENTARY STREET LIGHTING MODIFICATIONS
1" = 30'

CONTRACTOR SHALL COORDINATE DOWNTIME. STREET LIGHTING SHALL BE OPERATIONAL DURING DARK. PROVIDE TEMPORARY FEEB IF NECESSARY.

GREEN ASSOCIATES
ARCHITECTURE & ENGINEERING

ARCHITECT
GREEN ASSOCIATES, INC.
111 DEERLAKE ROAD, SUITE 125
DEERFIELD, ILLINOIS 60015
847-317-0952 F 847-317-0959

CIVIL ENGINEER
ENGINEERING ENGINEERING
ASSOCIATES, LTD.
148 COMMERCE DRIVE, SUITE A
GRAYHAWK, ILLINOIS 60139
847-225-1804 F 847-225-1804

SEEP ENGINEER
CEE DESIGN GROUP, LLC
167 EAST DAVISON STREET
ELK GROVE, ILLINOIS 60007
847-481-1880 F 847-481-1880

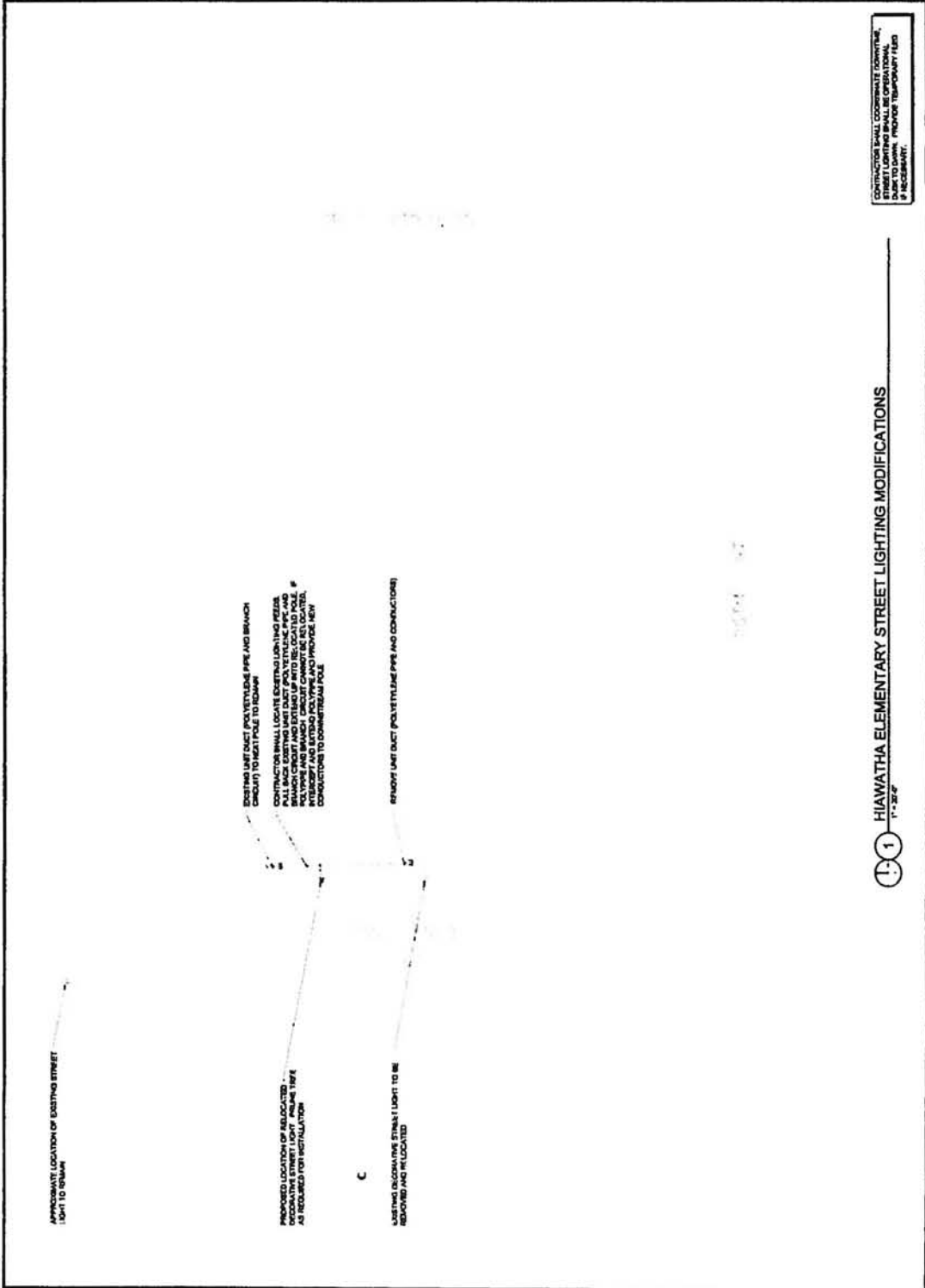
BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DISTRICT 100
3401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402

PIPER ELEMENTARY STREET LIGHTING
MODIFICATIONS

No.	Description	Date
01	Issue	07 April 2010

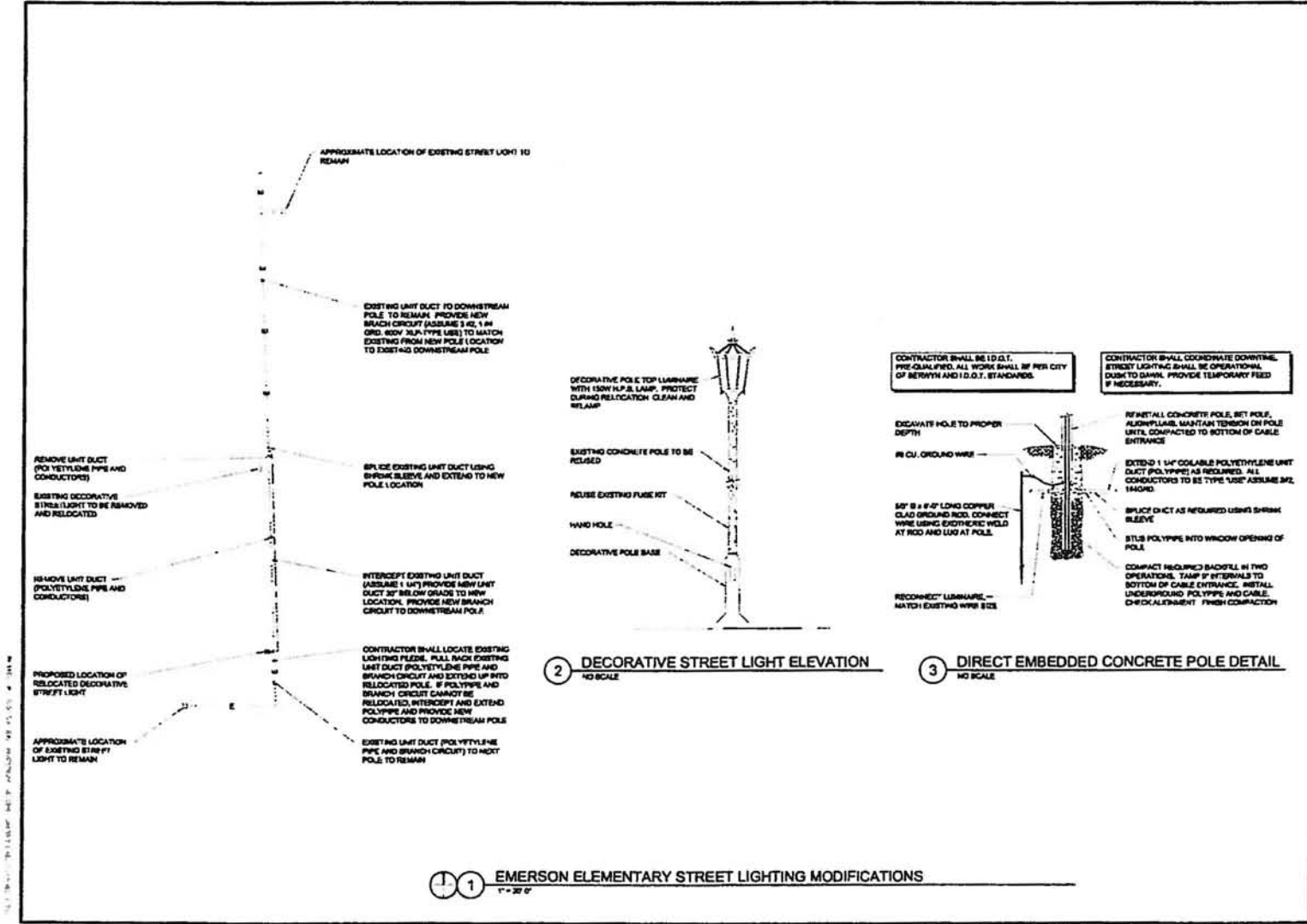
Project Number
1315-2010H
Project Name
CONSTRUCTION DOCUMENTS
Sheet
E1.0

DATE PLOTTED: 04/06/2010 09:53:10 AM



CONTRACTOR SHALL RELOCATE EXISTING STREET LIGHTING TO EXISTING POLES. IF NEW POLES AND BRANCH CIRCUIT CONDUCTORS ARE REQUIRED, NEW CONDUCTORS SHALL BE INSTALLED TO EXISTING POLES.

1-1 HIAWATHA ELEMENTARY STREET LIGHTING MODIFICATIONS
 1" = 30'-0"



1 EMERSON ELEMENTARY STREET LIGHTING MODIFICATIONS
1" = 30'

GREEN ASSOCIATES
ARCHITECT
CONSTRUCTION SERVICES

ARCHITECT
GREEN ASSOCIATES, INC.
111 OGDEN AVE. SUITE 105
DEERFIELD, ILLINOIS 60015
847-317-0857 F 847-317-0858

CIVIL ENGINEER
SPROCKEN SHROEDERS
ASSOCIATES, LTD.
148 COMMERCE DRIVE, SUITE A
DEERFIELD, ILLINOIS 60015
847-223-4804 F 847-223-4804

MEP ENGINEER
CNS DESIGN GROUP, LLC
831 EAST CARTER STREET
BLK GROVE, ILLINOIS 60027
847-681-1820 F 847-681-1785

BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DISTRICT 100
3401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402

EMERSON ELEMENTARY STREET LIGHTING
MODIFICATIONS

DATE	BY	CHKD	APP'D
02 APR 2010			
No.	Description	Rev	Date

Project Number
1315-291004
Project Name
CONSTRUCTION DOCUMENTS

E3.0

GREEN ASSOCIATES, INC.

AGENCY: ILLINOIS STATE BOARD OF
EDUCATION
11100 S. LAKE ROAD, SUITE 100
MUNSTER, ILLINOIS 60059
PH: 815-431-1000 F: 815-431-1009

DATE: 08/20/2018
PROJECT: BERWYN ELEMENTARY SCHOOL
1410 S. GUNDERSON AVENUE, SUITE A
BERWYN, ILLINOIS 60402
DRAWN BY: J. LARSON
CHECKED BY: J. LARSON
DATE: 08/20/2018

PROJECT ENGINEER: J. LARSON
1410 S. GUNDERSON AVENUE, SUITE A
BERWYN, ILLINOIS 60402
PH: 815-431-1000 F: 815-431-1009

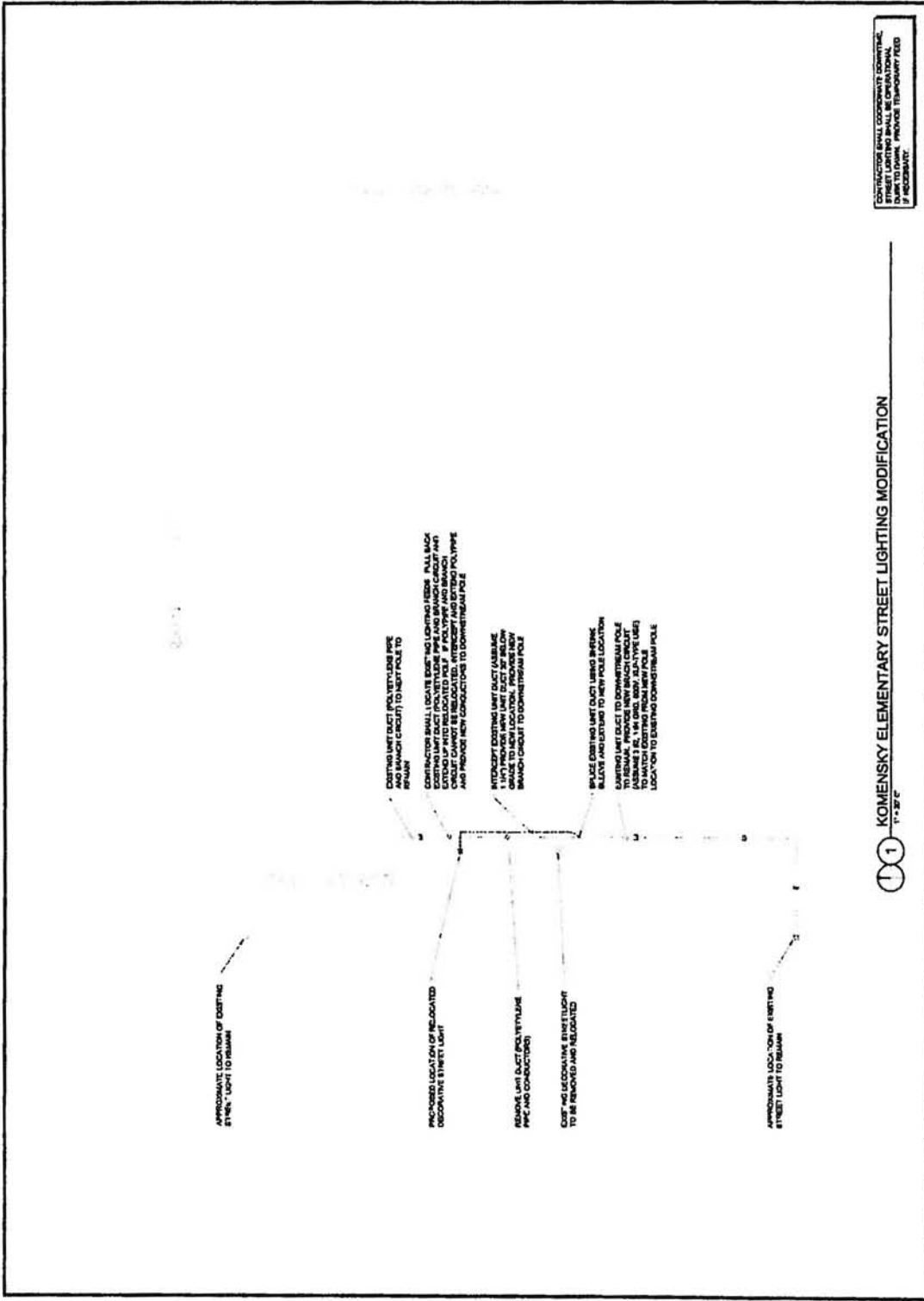
BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DISTRICT 100
2401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402

KOMENSKY ELEMENTARY STREET LIGHTING MODIFICATIONS

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	07 APR 2018
2	REVISED PER COMMENTS	08 APR 2018

Project No.: 1715-201004
Revision: 2
Drawing Title: DISTRIBUTION OCCUPANTS
Scale: 1"=20'-0"

E6.0



1 KOMENSKY ELEMENTARY STREET LIGHTING MODIFICATION
1"=20'-0"

CONTRACTOR SHALL COORDINATE CONSTRUCTION OF STREET LIGHTING WITH ALL NEIGHBORING UTILITIES TO AVOID CONFLICTS. PROVIDE TEMPORARY FEEEDS AS NECESSARY.

GREEN ASSOCIATES
 CIVIL ENGINEERS
 1110 N. WILSON AVENUE, SUITE 100
 BERWYN, ILLINOIS 60402
 TEL: 708/471-1100 FAX: 708/471-1101

PROJEC T
 BERWYN ELEMENTARY SCHOOL
 3401 S GUNDERSON AVENUE
 SOUTH BERWYN SCHOOL DISTRICT 100
 BERWYN, ILLINOIS 60402
 DEMOLITION PLAN



**PIPER ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 2435 S. KENILWORTH AVENUE
 BERWYN, IL 60402**

**ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.**
 2435 S. KENILWORTH AVENUE
 BERWYN, ILLINOIS 60402
 TEL: 708/471-1100 FAX: 708/471-1101

DEMOLITION LEGEND

- Existing Structure
- Structure to be Demolished
- Structure to be Retained
- Structure to be Demolished

GENERAL NOTES

1. ALL EXISTING STRUCTURES TO BE DEMOLISHED UNLESS OTHERWISE NOTED.

2. ALL EXISTING UTILITIES TO BE MAINTAINED UNLESS OTHERWISE NOTED.

3. ALL EXISTING UTILITIES TO BE DELETED UNLESS OTHERWISE NOTED.

4. ALL EXISTING UTILITIES TO BE RELOCATED UNLESS OTHERWISE NOTED.

5. ALL EXISTING UTILITIES TO BE REPAIRED UNLESS OTHERWISE NOTED.

6. ALL EXISTING UTILITIES TO BE REPLACED UNLESS OTHERWISE NOTED.

7. ALL EXISTING UTILITIES TO BE REMOVED UNLESS OTHERWISE NOTED.

8. ALL EXISTING UTILITIES TO BE PRESERVED UNLESS OTHERWISE NOTED.

9. ALL EXISTING UTILITIES TO BE PROTECTED UNLESS OTHERWISE NOTED.

10. ALL EXISTING UTILITIES TO BE RESTORED UNLESS OTHERWISE NOTED.

LEGEND

- Existing Structure
- Structure to be Demolished
- Structure to be Retained
- Structure to be Demolished

DEMOLITION NOTES

1. ALL EXISTING STRUCTURES TO BE DEMOLISHED UNLESS OTHERWISE NOTED.

2. ALL EXISTING UTILITIES TO BE MAINTAINED UNLESS OTHERWISE NOTED.

3. ALL EXISTING UTILITIES TO BE DELETED UNLESS OTHERWISE NOTED.

4. ALL EXISTING UTILITIES TO BE RELOCATED UNLESS OTHERWISE NOTED.

5. ALL EXISTING UTILITIES TO BE REPAIRED UNLESS OTHERWISE NOTED.

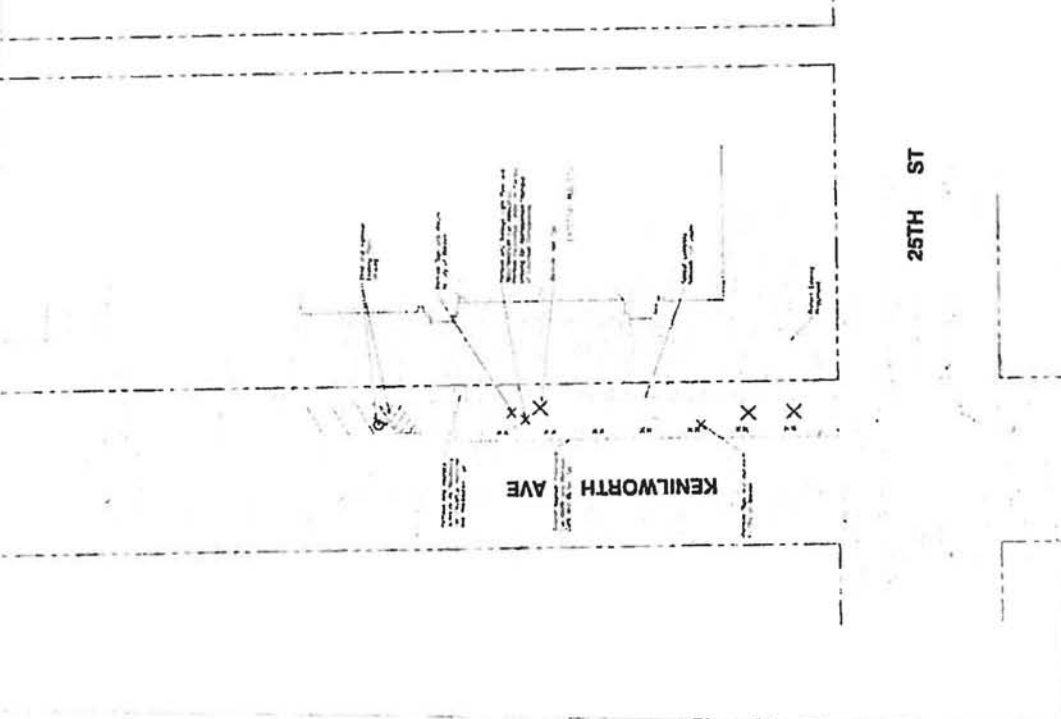
6. ALL EXISTING UTILITIES TO BE REPLACED UNLESS OTHERWISE NOTED.

7. ALL EXISTING UTILITIES TO BE REMOVED UNLESS OTHERWISE NOTED.

8. ALL EXISTING UTILITIES TO BE PRESERVED UNLESS OTHERWISE NOTED.

9. ALL EXISTING UTILITIES TO BE PROTECTED UNLESS OTHERWISE NOTED.

10. ALL EXISTING UTILITIES TO BE RESTORED UNLESS OTHERWISE NOTED.



C-1.0

CONSTRUCTION DOCUMENTS

25TH ST

KENILWORTH AVE

PIPER ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 DEMOLITION PLAN

3401 S GUNDERSON AVENUE
 SOUTH BERWYN SCHOOL DISTRICT 100
 BERWYN, ILLINOIS 60402

DATE: 08/11/09
 DRAWN BY: J. J. L. L. L.
 CHECKED BY: J. J. L. L. L.
 APPROVED BY: J. J. L. L. L.

GREEN ASSOCIATES

ARCHITECT
 11100 WILSON AVENUE, SUITE 100
 BOSTON, MASSACHUSETTS 02116
 TEL: 617-552-1100 FAX: 617-552-1101

CIVIL ENGINEER
 GREEN ASSOCIATES, INC.
 11100 WILSON AVENUE, SUITE 100
 BOSTON, MASSACHUSETTS 02116
 TEL: 617-552-1100 FAX: 617-552-1101

MECHANICAL ENGINEER
 GREEN ASSOCIATES, INC.
 11100 WILSON AVENUE, SUITE 100
 BOSTON, MASSACHUSETTS 02116
 TEL: 617-552-1100 FAX: 617-552-1101

BERWYN SITE IMPROVEMENTS
 SOUTH BERWYN SCHOOL DISTRICT 100
 3401 S GUNDERSON AVENUE
 BERWYN, ILLINOIS 60402

**PIPER ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 SITE GEOMETRY PLAN**

DATE: 07 APR 2016
 TIME: 09:00 AM
 DRAWING NO: C-1.1
 SHEET NO: 01

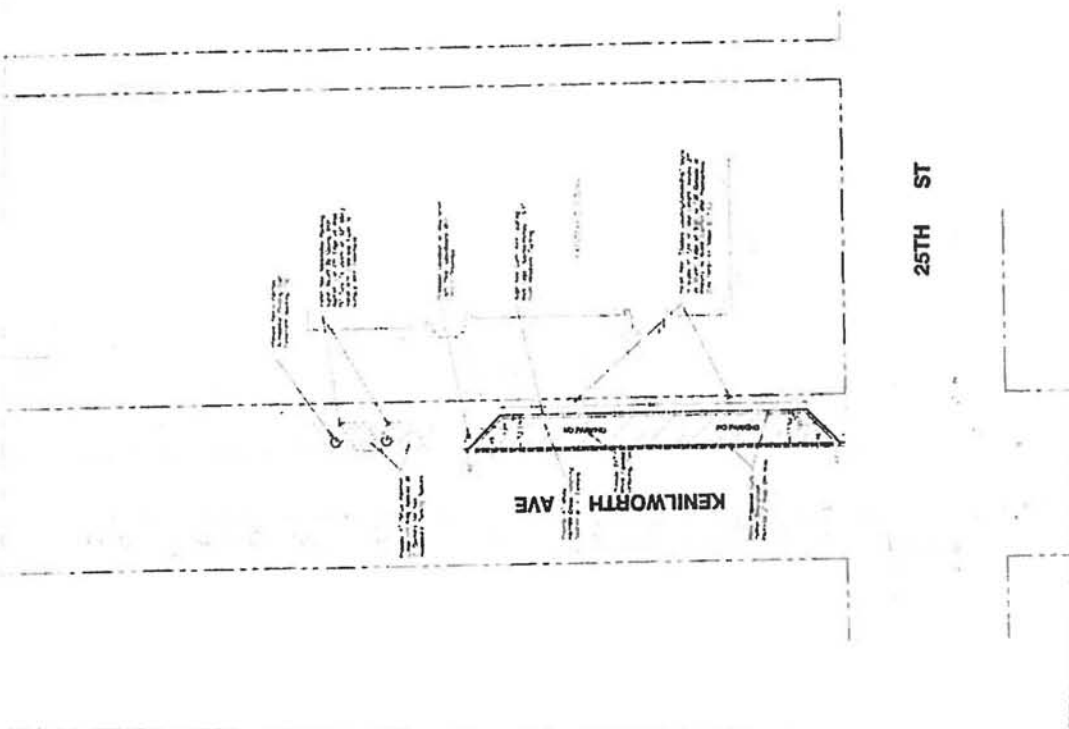
PROJECT NO: 15-001
 CONTRACT NO: 15-001
 DRAWING NO: C-1.1

C-1.1



**PIPER ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 2435 S. KENILWORTH AVENUE
 BERWYN, IL 60402**

ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.
 11100 WILSON AVENUE, SUITE 100
 BOSTON, MASSACHUSETTS 02116
 TEL: 617-552-1100 FAX: 617-552-1101



GENERAL NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

2. THE EXISTING CURB AND GUTTER SHALL BE MAINTAINED WHEREVER POSSIBLE.

3. THE PROPOSED CURB AND GUTTER SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE ROADWAY.

4. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

5. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

6. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

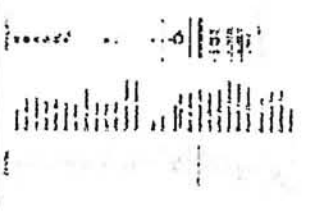
7. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

8. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

9. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

10. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

LEGEND



JULI.E.

DATE: 07 APR 2016
 TIME: 09:00 AM
 DRAWING NO: C-1.1
 SHEET NO: 01

GEOMETRY NOTES

1. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

2. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

3. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

4. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

5. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

6. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

7. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

8. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

9. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

10. THE PROPOSED DRIVEWAYS SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE DRIVEWAY.

GREEN ASSOCIATES



**PIPER ELEMENTARY SCHOOL
SITE IMPROVEMENTS
2435 S. KENILWORTH AVENUE
BERWYN, IL 60402**

ASSOCIATES, LTD.
28 WASHINGTON DRIVE, SUITE 104
NORTH AURORA, ILLINOIS 60188
TEL: (708) 415-2000 FAX: (708) 415-2001

PAVING & SURFACE LEGEND

- ASPHALT CONCRETE
- CONCRETE
- ASPHALT
- GRAVEL
- GRAVEL WITH STONE

**SOIL EROSION &
SEDIMENTATION CONTROL
LEGEND**

- EROSION CONTROL
- SEDIMENTATION CONTROL

GENERAL NOTES

1. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE CITY OF BERWYN AND SHOULD BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THESE UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS AT ALL TIMES. ANY OBSTRUCTIONS TO ACCESS SHALL BE REMOVED IMMEDIATELY.

3. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING STRUCTURES AND UTILITIES. ANY WEAKENING OR DAMAGE TO THESE STRUCTURES AND UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

4. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING UTILITIES. ANY WEAKENING OR DAMAGE TO THESE UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



LEGEND

- PROPOSED
- EXISTING
- UTILITY
- EROSION CONTROL
- SEDIMENTATION CONTROL
- PAVING
- SURFACE

JULIET

1. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE CITY OF BERWYN AND SHOULD BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THESE UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**SOIL EROSION &
SEDIMENTATION CONTROL
NOTES**

1. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE THE PROPERTY OF THE CITY OF BERWYN AND SHOULD BE PROTECTED AT ALL TIMES. ANY DAMAGE TO THESE UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

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3. THE CONTRACTOR SHALL MAINTAIN THE STRENGTH AND INTEGRITY OF ALL EXISTING STRUCTURES AND UTILITIES. ANY WEAKENING OR DAMAGE TO THESE STRUCTURES AND UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

25TH ST

KENILWORTH AVE

BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DIST. CT 100
2401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402
PIPEL ELEMENTARY SCHOOL
SITE IMPROVEMENTS
GRADING AND PAVING PLAN

No.	Description	Date
1	Issue	02/01/00
2	Revised	02/01/00

Project Number: 02-000000
Drawing Title: GRADING AND PAVING PLAN
CONSTRUCTION DOCUMENTS

C-1.2

02/01/00 10:00 AM

GREEN ASSOCIATES

ARCHITECT
 GREEN ASSOCIATES, INC.
 111 DEARBORN ROAD, SUITE 103
 BERYN, ILLINOIS 60402
 TEL: 847-231-1200
 FAX: 847-231-1201

ENGINEER
 GREEN ASSOCIATES, INC.
 111 DEARBORN ROAD, SUITE 103
 BERYN, ILLINOIS 60402
 TEL: 847-231-1200
 FAX: 847-231-1201

MEP ENGINEER
 GREEN ASSOCIATES, INC.
 111 DEARBORN ROAD, SUITE 103
 BERYN, ILLINOIS 60402
 TEL: 847-231-1200
 FAX: 847-231-1201

BERYRN SITE IMPROVEMENTS
 SOUTH BERYRN SCHOOL DISTRICT 100
 3401 S GUNDERSON AVENUE
 BERYRN, ILLINOIS 60402

HIWATHA ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 DEMOLITION PLAN

DATE
 02 APR 2010

REVISION
 1

DESCRIPTION
 DEMOLITION PLAN

PROJECT
 010-23000

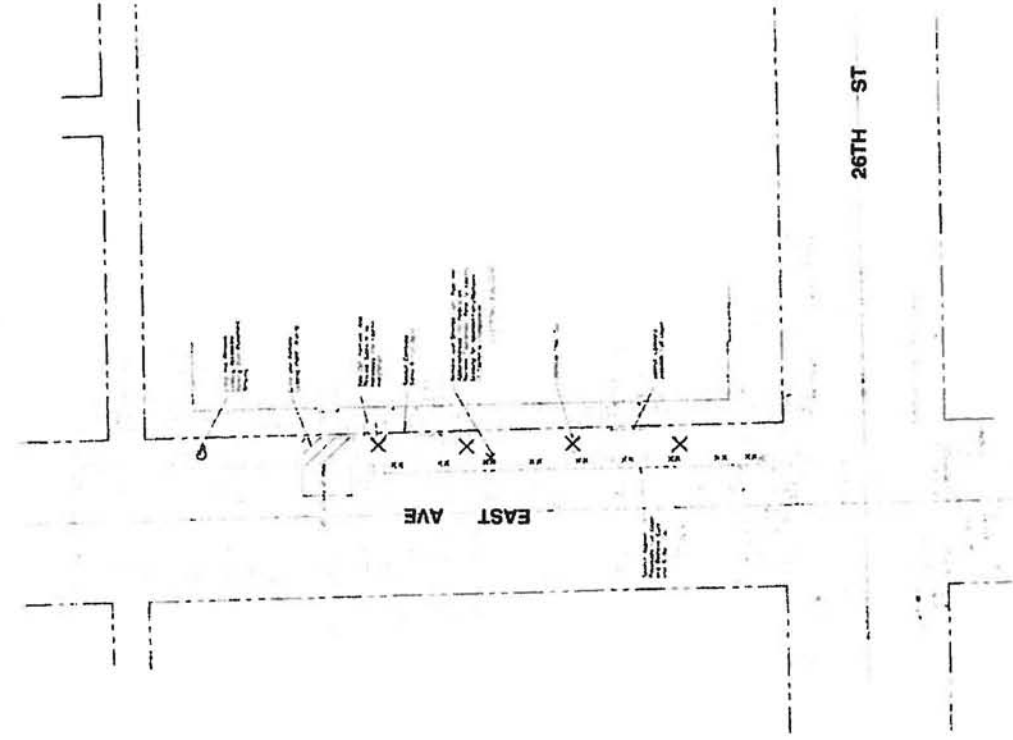
CONSTRUCTION DOCUMENTS

C-2.0



HIWATHA ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 6539 WEST 28TH STREET
 BERYRN, IL 60402

ENGINEERING
 ERIKSSON ENGINEERING ASSOCIATES, LTD.
 2400 WILSON AVENUE, SUITE 100
 BERYN, ILLINOIS 60402
 TEL: 847-231-1200
 FAX: 847-231-1201



DEMOLITION LEGEND

□ Existing Structure
 □ Structure to be Demolished
 X Existing Structure to be Demolished

GENERAL NOTES

1. All existing structures shown on this plan are to be demolished.

2. All new structures shown on this plan are to be constructed in accordance with the approved plans.

3. All utility lines shown on this plan are to be relocated in accordance with the approved plans.

4. All existing trees shown on this plan are to be preserved.

5. All existing landscaping shown on this plan is to be preserved.

LEGEND

--- Existing Structure
 --- Structure to be Demolished
 X Existing Structure to be Demolished

DEMOLITION NOTES

1. All existing structures shown on this plan are to be demolished.

2. All new structures shown on this plan are to be constructed in accordance with the approved plans.

3. All utility lines shown on this plan are to be relocated in accordance with the approved plans.

4. All existing trees shown on this plan are to be preserved.

5. All existing landscaping shown on this plan is to be preserved.

REFERENCE BENCHMARK

1. The benchmark used for this project is the benchmark located at the corner of East Ave and 26th St.

2. The benchmark is a concrete monument with a diameter of 6 inches and a height of 12 inches.

3. The benchmark is located at the corner of East Ave and 26th St.

LEGEND

--- Existing Structure
 --- Structure to be Demolished
 X Existing Structure to be Demolished

SURVEY PROVIDED BY:

1. The survey was provided by the South Berwyn School District.

2. The survey was conducted in accordance with the approved plans.

3. The survey is located at the corner of East Ave and 26th St.

LEGEND

--- Existing Structure
 --- Structure to be Demolished
 X Existing Structure to be Demolished



**HIAWATHA ELEMENTARY SCHOOL
SITE IMPROVEMENTS**
6539 WEST 26TH STREET
BERWYN, IL 60402



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
1400 WEST 26TH STREET
BERWYN, ILLINOIS 60402
TEL: 708/481-1100
FAX: 708/481-1101

ARCHITECT
GREEN ASSOCIATES, INC.
1400 WEST 26TH STREET
BERWYN, ILLINOIS 60402
TEL: 708/481-1100
FAX: 708/481-1101

CIVIL ENGINEER
ERIKSSON ENGINEERING ASSOCIATES, LTD.
1400 WEST 26TH STREET
BERWYN, ILLINOIS 60402
TEL: 708/481-1100
FAX: 708/481-1101

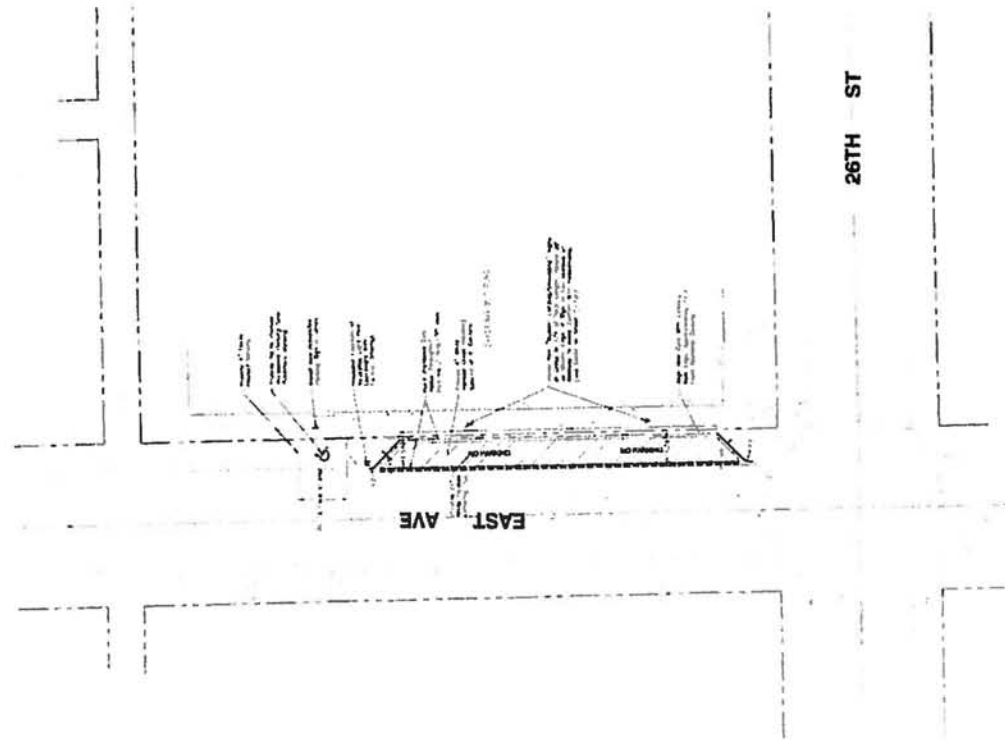
MECHANICAL ENGINEER
ERIKSSON ENGINEERING ASSOCIATES, LTD.
1400 WEST 26TH STREET
BERWYN, ILLINOIS 60402
TEL: 708/481-1100
FAX: 708/481-1101

ELECTRICAL ENGINEER
ERIKSSON ENGINEERING ASSOCIATES, LTD.
1400 WEST 26TH STREET
BERWYN, ILLINOIS 60402
TEL: 708/481-1100
FAX: 708/481-1101

BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL, DISTRICT 100
3401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402
HIAWATHA ELEMENTARY SCHOOL
SITE IMPROVEMENTS
SITE GEOMETRY PLAN

DATE: 07 APR 2016
DRAWN BY: JLL
CHECKED BY: JLL
DATE: 07 APR 2016

Project Number: 15010100000000000000
Drawing Title: HIAWATHA ELEMENTARY SCHOOL
CONSTRUCTION DOCUMENTS
Sheet: C-2.1
Copyright © 2016 ERIKSSON ENGINEERING ASSOCIATES, LTD.



LEGEND

1" = 10'	EXISTING PAVEMENT
1" = 10'	NEW PAVEMENT
1" = 10'	NEW CURB
1" = 10'	NEW SIDEWALK
1" = 10'	EXISTING UTILITIES
1" = 10'	NEW UTILITIES
1" = 10'	NEW LIGHT FIXTURES
1" = 10'	NEW SIGNAGE
1" = 10'	NEW FENCE
1" = 10'	NEW LANDSCAPING
1" = 10'	NEW PLAYGROUND
1" = 10'	NEW BASKETBALL COURT
1" = 10'	NEW TENNIS COURT
1" = 10'	NEW SOFTBALL FIELD
1" = 10'	NEW BASEBALL FIELD
1" = 10'	NEW GOLF COURSE
1" = 10'	NEW SWIMMING POOL
1" = 10'	NEW GYMNASIUM
1" = 10'	NEW CAFETERIA
1" = 10'	NEW OFFICE BUILDING
1" = 10'	NEW CLASSROOMS
1" = 10'	NEW LABORATORIES
1" = 10'	NEW ART ROOMS
1" = 10'	NEW MUSIC ROOMS
1" = 10'	NEW GARDENS
1" = 10'	NEW TREES
1" = 10'	NEW BUSHES
1" = 10'	NEW GRASS
1" = 10'	NEW SAND
1" = 10'	NEW GRAVEL
1" = 10'	NEW ASPHALT
1" = 10'	NEW CONCRETE
1" = 10'	NEW BRICK
1" = 10'	NEW STONE
1" = 10'	NEW METAL
1" = 10'	NEW WOOD
1" = 10'	NEW GLASS
1" = 10'	NEW CERAMIC
1" = 10'	NEW TILE
1" = 10'	NEW CARPET
1" = 10'	NEW PAINT
1" = 10'	NEW FINISH
1" = 10'	NEW COLOR
1" = 10'	NEW TEXTURE
1" = 10'	NEW PATTERN
1" = 10'	NEW DESIGN
1" = 10'	NEW STYLE
1" = 10'	NEW MODERN
1" = 10'	NEW TRADITIONAL
1" = 10'	NEW CLASSICAL
1" = 10'	NEW ROMANTIC
1" = 10'	NEW GOTHIC
1" = 10'	NEW RENAISSANCE
1" = 10'	NEW BAROQUE
1" = 10'	NEW NEOCLASSICAL
1" = 10'	NEW ECLECTIC
1" = 10'	NEW ART DECO
1" = 10'	NEW MODERNISM
1" = 10'	NEW POSTMODERNISM
1" = 10'	NEW DECONSTRUCTION
1" = 10'	NEW SUSTAINABLE
1" = 10'	NEW GREEN
1" = 10'	NEW LEED
1" = 10'	NEW WELL-BEING
1" = 10'	NEW HEALTHY
1" = 10'	NEW ACTIVE
1" = 10'	NEW ENGAGING
1" = 10'	NEW INSPIRING
1" = 10'	NEW EMPOWERING
1" = 10'	NEW TRANSFORMING
1" = 10'	NEW REVOLUTIONARY
1" = 10'	NEW INNOVATIVE
1" = 10'	NEW CREATIVE
1" = 10'	NEW IMAGINATIVE
1" = 10'	NEW DIVERSE
1" = 10'	NEW INCLUSIVE
1" = 10'	NEW ACCESSIBLE
1" = 10'	NEW UNIVERSAL
1" = 10'	NEW HUMAN-CENTRIC
1" = 10'	NEW PEOPLE-CENTRIC
1" = 10'	NEW COMMUNITY-CENTRIC
1" = 10'	NEW SOCIALLY RESPONSIBLE
1" = 10'	NEW ETHICALLY SOUND
1" = 10'	NEW LEGALLY COMPLIANT
1" = 10'	NEW SAFELY SOUND
1" = 10'	NEW SECURELY SOUND
1" = 10'	NEW RELIABLY SOUND
1" = 10'	NEW DURABLY SOUND
1" = 10'	NEW HIGH-QUALITY
1" = 10'	NEW PREMIUM
1" = 10'	NEW LUXURY
1" = 10'	NEW ELEGANT
1" = 10'	NEW SLEEK
1" = 10'	NEW SMOOTH
1" = 10'	NEW POLISHED
1" = 10'	NEW GLOSSY
1" = 10'	NEW SHINY
1" = 10'	NEW BRILLIANT
1" = 10'	NEW STUNNING
1" = 10'	NEW BREATHTAKING
1" = 10'	NEW ASTONISHING
1" = 10'	NEW AMAZING
1" = 10'	NEW INCREDIBLE
1" = 10'	NEW UNBELIEVABLE
1" = 10'	NEW MIND-BLOWING
1" = 10'	NEW GUT-BUSTING
1" = 10'	NEW HAIR-RAISING
1" = 10'	NEW CHINA-TAKEAWAY
1" = 10'	NEW MIND-BLOWING
1" = 10'	NEW GUT-BUSTING
1" = 10'	NEW HAIR-RAISING
1" = 10'	NEW CHINA-TAKEAWAY

GENERAL NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

3. ALL UTILITIES SHALL BE DEPTH MARKED AND SHOWN ON THE PLAN.

4. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

5. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

6. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

7. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

8. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

9. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

10. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

GEOMETRY NOTES

1. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

2. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

3. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

4. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

5. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

6. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

7. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

8. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

9. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

10. ALL GEOMETRY SHALL BE IN ACCORDANCE WITH THE CITY OF BERWYN SPECIFICATIONS FOR CONSTRUCTION.

J.L.L./E.



GREEN ASSOCIATES, INC.
 111 KENNAWICK ROAD, SUITE 103
 BERRYN, ILLINOIS 60402
 815-371-2822 F 815-371-0289

DR. BOHMER
 ENVIRONMENTAL ENGINEERING
 1000 W. GUNDESSON AVENUE, SUITE A
 BERRYN, ILLINOIS 60402
 815-371-2822 F 815-371-0289

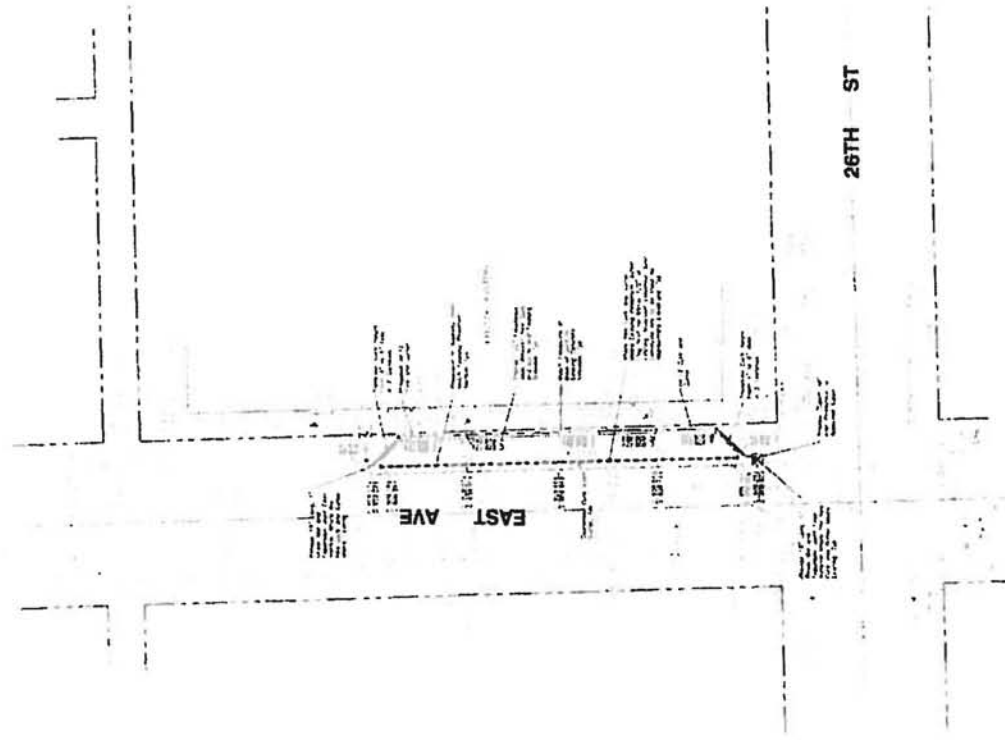
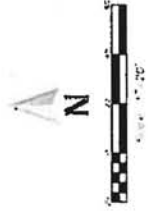
KEP ENGINEERS
 807 EAST DAVENPORT STREET
 BERRYN, ILLINOIS 60402
 815-371-1800 F 815-371-0289



ERIKSSON ENGINEERING ASSOCIATES, LTD.
 148 LEONARD DRIVE, SUITE 100
 BERRYN, ILLINOIS 60402
 815-371-2822 F 815-371-0289

**HIAWATHA ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 6539 WEST 26TH STREET
 BERRYN, IL 60402**

- PAVING & SURFACE LEGEND**
- Asphalt Concrete
 - Concrete
 - Gravel
 - Sand
- SOIL EROSION & SEDIMENTATION CONTROL LEGEND**
- Erosion Control
 - Sedimentation Control



GRADING NOTES

1. All existing elevations are shown in red.

2. All proposed elevations are shown in blue.

3. All proposed elevations are subject to field verification.

4. All proposed elevations are subject to final engineering review.

SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. All erosion control measures shall be installed and maintained in accordance with the Illinois Erosion Control Act.

2. All sedimentation basins shall be installed and maintained in accordance with the Illinois Sedimentation Control Act.

3. All erosion control measures shall be installed and maintained in accordance with the Illinois Erosion Control Act.

4. All sedimentation basins shall be installed and maintained in accordance with the Illinois Sedimentation Control Act.

GENERAL NOTES

1. All proposed improvements shall be installed and maintained in accordance with the Illinois Erosion Control Act.

2. All proposed improvements shall be installed and maintained in accordance with the Illinois Sedimentation Control Act.

3. All proposed improvements shall be installed and maintained in accordance with the Illinois Erosion Control Act.

4. All proposed improvements shall be installed and maintained in accordance with the Illinois Sedimentation Control Act.

LEGEND

- Asphalt Concrete
- Concrete
- Gravel
- Sand
- Erosion Control
- Sedimentation Control

J.L.L.I.E.

111 KENNAWICK ROAD, SUITE 103
 BERRYN, ILLINOIS 60402
 815-371-2822 F 815-371-0289

BERRYN SITE IMPROVEMENTS
 SOUTH BERRYN SCHOOL, DISTRICT 100
 3401 S GUNDESSON AVENUE
 BERRYN, ILLINOIS 60402

**HIAWATHA ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 GRADING AND PAVING PLAN**

DATE: 01/14/2010
 DRAWN BY: J.L.L.I.E.
 CHECKED BY: J.L.L.I.E.
 DESIGNED BY: J.L.L.I.E.

PROJECT NUMBER: 1111111111
 PROJECT NAME: HIAWATHA ELEMENTARY SCHOOL
 SHEET NUMBER: C-2.2

C-2.2

ARCHITECT
 GREEN ASSOCIATES, INC.
 1100 CLARK ROAD, SUITE 103
 DEERFIELD, ILLINOIS 60015
 847-371-0822 F 847-371-0828

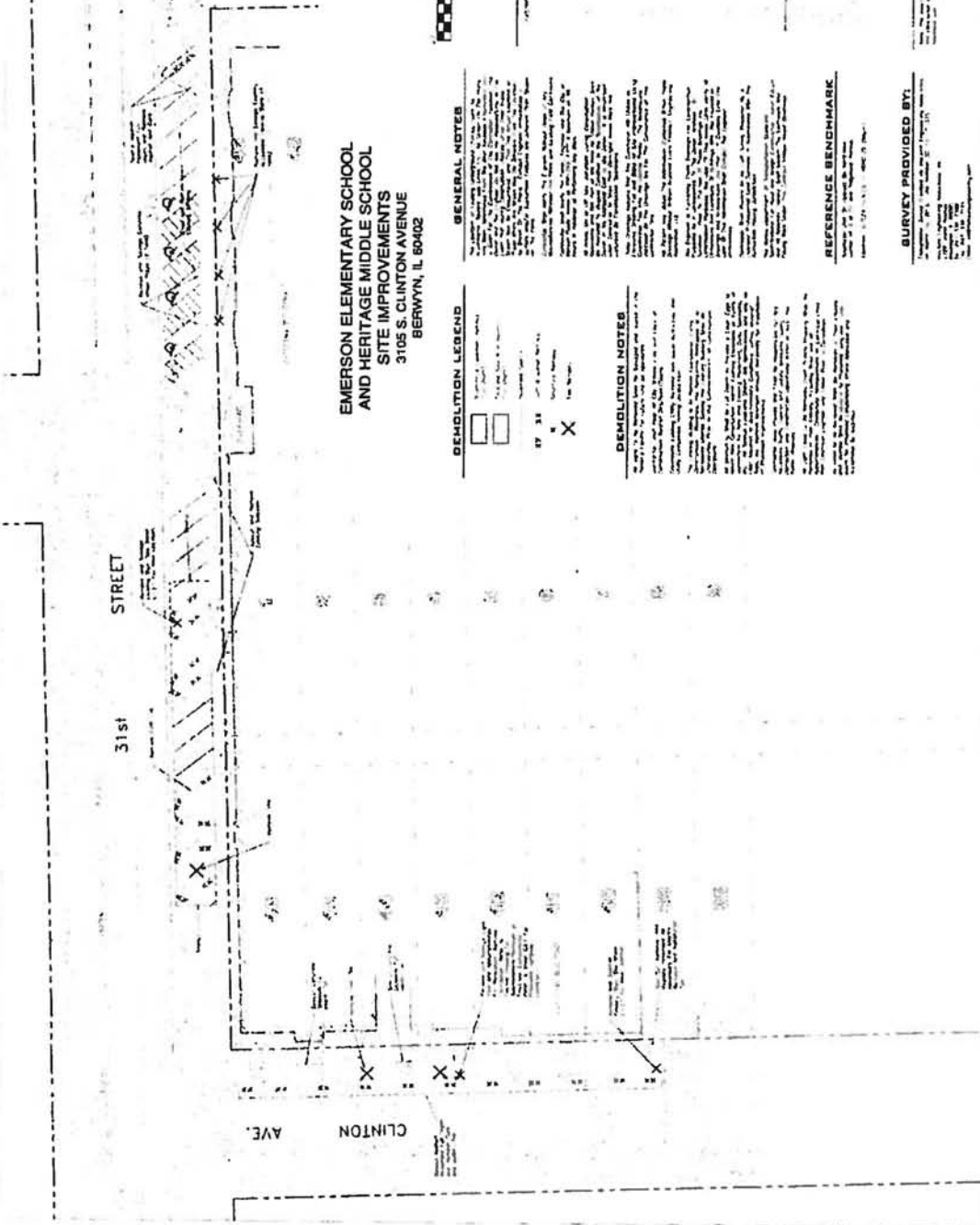
CIVIL ENGINEER
 ERIKSSON ENGINEERING ASSOCIATES, LTD.
 123 SCHUMACHER DRIVE, SUITE A
 DEERFIELD, ILLINOIS 60015
 847-373-4871 F 847-373-4884

MEP ENGINEER
 CBE DESIGN GROUP, LLC
 200 WEST WASHINGTON STREET, SUITE 200
 DEERFIELD, ILLINOIS 60015
 847-481-1881 F 847-481-1888



ERIKSSON ENGINEERING ASSOCIATES, LTD.
 123 SCHUMACHER DRIVE, SUITE A
 DEERFIELD, ILLINOIS 60015
 847-373-4871 F 847-373-4884

**EMERSON ELEMENTARY SCHOOL
 AND HERITAGE MIDDLE SCHOOL
 SITE IMPROVEMENTS**
 3105 S. CLINTON AVENUE
 BERWYN, IL 60402



DEMOLITION LEGEND

[Symbol]	Demolition
[Symbol]	Existing
[Symbol]	Proposed

GENERAL NOTES

1. All existing structures to be demolished.
2. All new structures to be constructed in accordance with the approved plans.
3. All work to be completed in accordance with the approved specifications.
4. All materials to be used shall be of the highest quality.
5. All work to be completed in accordance with the approved schedule.

DEMOLITION NOTES

1. All existing structures to be demolished.
2. All new structures to be constructed in accordance with the approved plans.
3. All work to be completed in accordance with the approved specifications.
4. All materials to be used shall be of the highest quality.
5. All work to be completed in accordance with the approved schedule.

LEGEND

[Symbol]	Demolition
[Symbol]	Existing
[Symbol]	Proposed

REFERENCE BENCHMARK

1. 100' x 100' x 100' concrete block

SURVEY PROVIDED BY:

J.L.L.L.E.

BERWYN SITE IMPROVEMENTS
 SOUTH BERWYN SCHOOL DISTRICT 100
 2401 S GUNDERSON AVENUE
 BERWYN, ILLINOIS 60402

Item	Description	Date
1	Demolition Plan	10/1/2010

EMERSON ELEMENTARY SCHOOL AND HERITAGE MIDDLE SCHOOL SITE IMPROVEMENTS DEMOLITION PLAN

C-3.0

GREEN ASSOCIATES

ARCHITECT
 1100 N. MADISON ST., SUITE 208
 DEERFIELD, ILLINOIS 60015
 847-377-0282 F 847-377-0288

CIVIL ENGINEER
 ERIKSSON ENGINEERING
 ASSOCIATES, LTD.
 1000 COLLADELLA DRIVE, SUITE 100
 BERTYNSVILLE, ILLINOIS 60011
 847-320-4600 F 847-320-4604

1997 LICENSEE
 CHS ENGINEERING, LLC
 2401 S GUNDERSON AVENUE
 BERYN, ILLINOIS 60402
 847-687-1880 F 847-687-1885

BERYNS SITE IMPROVEMENTS
 SOUTH BERYNS SCHOOL, DISTRICT 100
 2401 S GUNDERSON AVENUE
 BERYN, ILLINOIS 60402

EMERSON ELEMENTARY SCHOOL AND HERITAGE MIDDLE SCHOOL SITE IMPROVEMENTS
 SITE GEOMETRY PLAN

NO. 22
 DATE 02 APR 2015
 Description

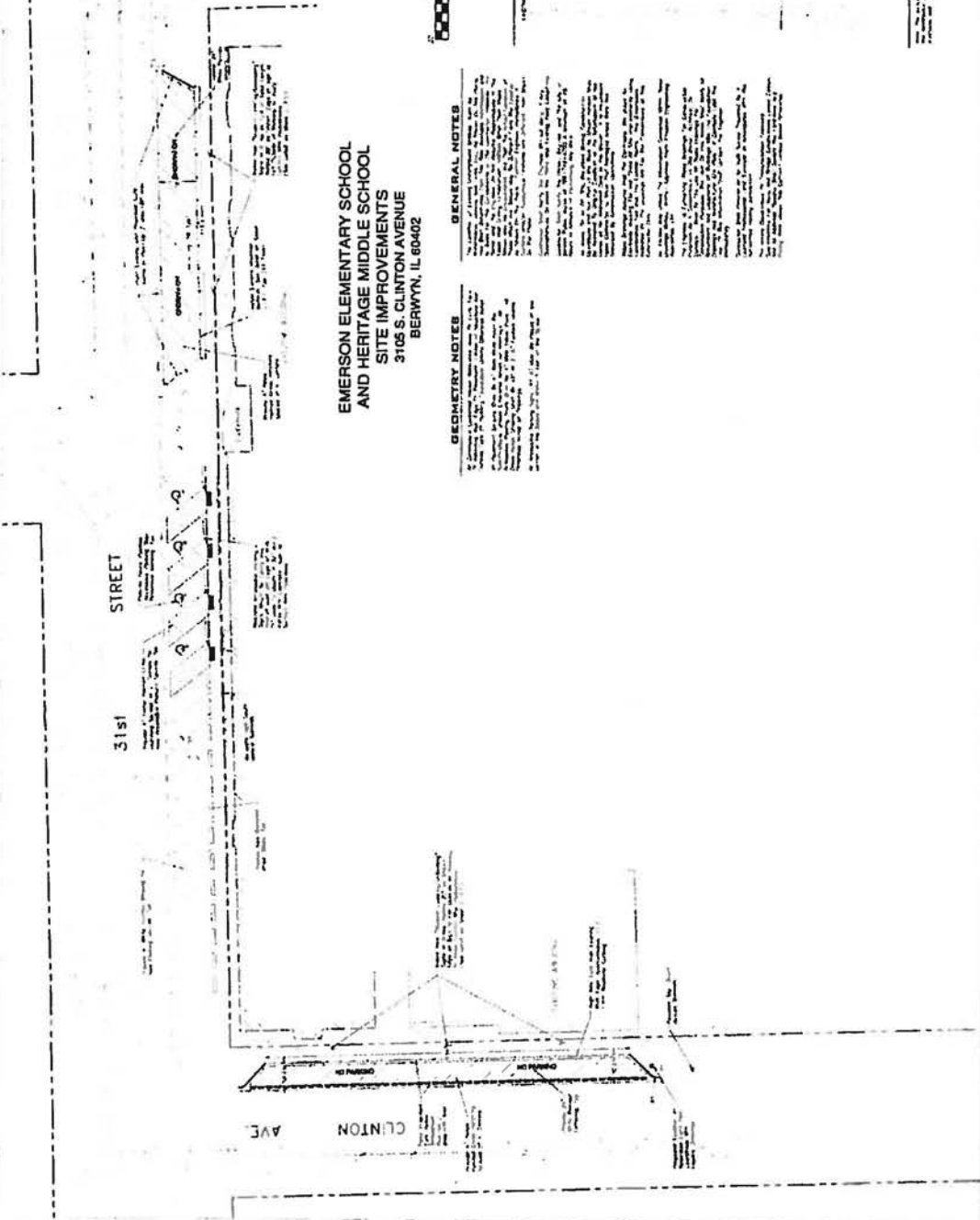
J.S.L.L.L.E.
 Title Block
 Project Name
 Construction Documents

C-3.1



ERIKSSON ENGINEERING ASSOCIATES, LTD.
 1000 COLLADELLA DRIVE, SUITE 100
 BERTYNSVILLE, ILLINOIS 60011
 847-320-4600 F 847-320-4604

EMERSON ELEMENTARY SCHOOL AND HERITAGE MIDDLE SCHOOL SITE IMPROVEMENTS
 3105 S. CLINTON AVENUE
 BERYN, IL 60402



GENERAL NOTES

1. THE SITE IS TO BE IMPROVED AS SHOWN ON THIS PLAN.
 2. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED.
 3. ALL NEW UTILITIES SHALL BE INSTALLED AS SHOWN ON THIS PLAN.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BERYN SPECIFICATIONS.
 5. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 10. ALL WASTE SHALL BE PROPERLY DISPOSED AT AN APPROVED FACILITY.

LEGEND

1. EXISTING PAVEMENT
 2. EXISTING CONCRETE
 3. EXISTING ASPHALT
 4. EXISTING GRAVEL
 5. EXISTING DIRT
 6. EXISTING CURB
 7. EXISTING SIDEWALK
 8. EXISTING DRIVEWAY
 9. EXISTING UTILITY
 10. EXISTING TREE
 11. EXISTING SHrub

GREEN ASSOCIATES

ARCHITECT
ERIKSSON ENGINEERING ASSOCIATES, LTD.
11100 WINDYBUSH ROAD, SUITE 100
MORTON, ILLINOIS 60132
708-551-3300 / 708-551-3301

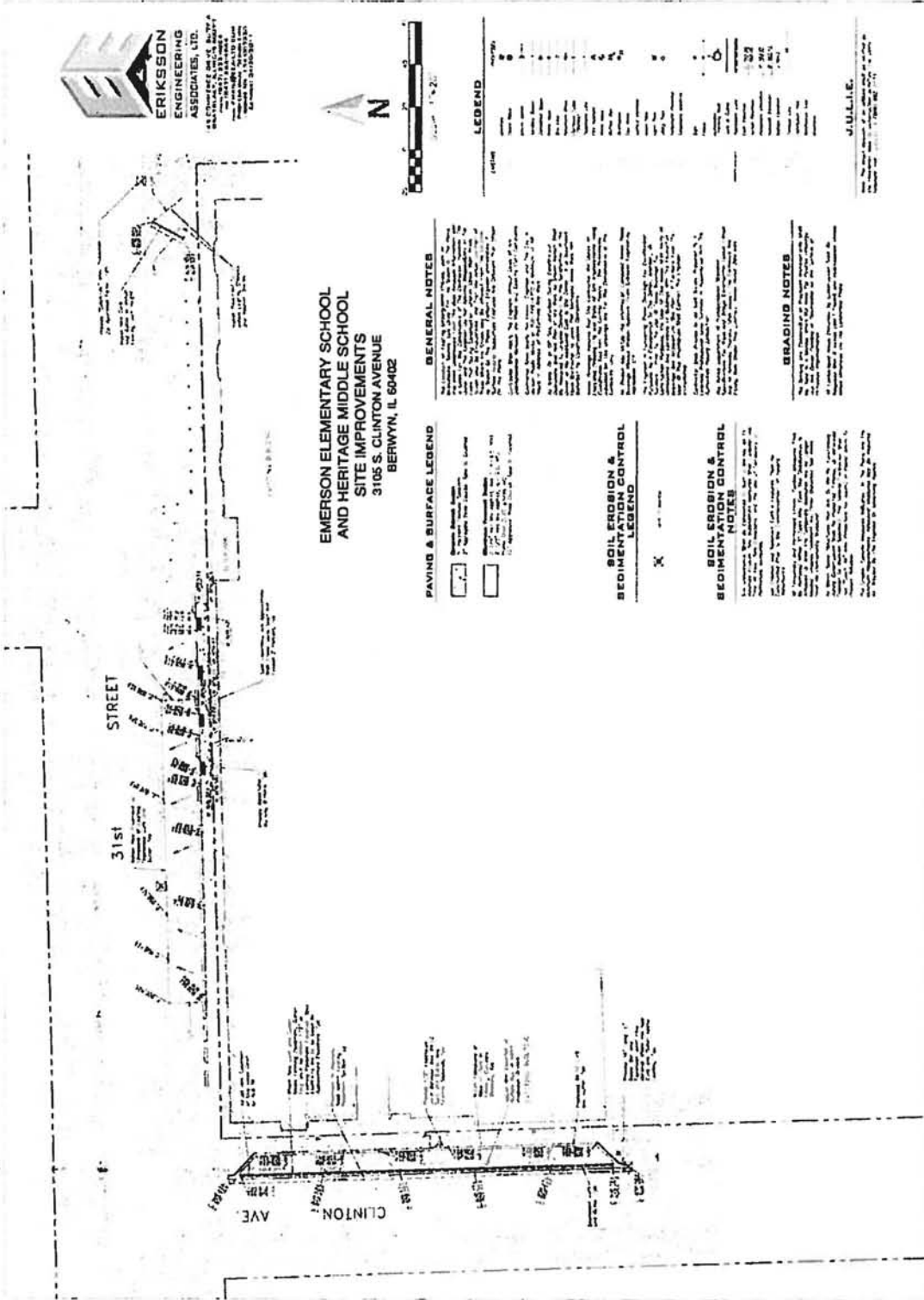
CIVIL ENGINEER
ASSOCIATES, LTD.
11100 WINDYBUSH ROAD, SUITE 100
MORTON, ILLINOIS 60132
708-551-3300 / 708-551-3301

MEP ENGINEER
ASSOCIATES, LTD.
11100 WINDYBUSH ROAD, SUITE 100
MORTON, ILLINOIS 60132
708-551-3300 / 708-551-3301



ERIKSSON ENGINEERING ASSOCIATES, LTD.
11100 WINDYBUSH ROAD, SUITE 100
MORTON, ILLINOIS 60132
708-551-3300 / 708-551-3301

EMERSON ELEMENTARY SCHOOL AND HERITAGE MIDDLE SCHOOL SITE IMPROVEMENTS
3105 S. CLINTON AVENUE
BERWYN, IL 60402



PAVING & SURFACE LEGEND

[Symbol]	Asphalt Paving
[Symbol]	Concrete Paving
[Symbol]	Gravel Paving
[Symbol]	Grass
[Symbol]	Soil

GENERAL NOTES

1. All work shall be in accordance with the specifications of the Illinois Department of Transportation (IDOT) and the City of Berwyn.

2. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

3. The site shall be protected from adjacent properties and public roads throughout the duration of the project.

4. All materials and workmanship shall be subject to inspection and approval by the engineer.

5. The contractor shall maintain access to all existing utilities and structures.

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

[Symbol]	Silt Fences
[Symbol]	Sediment Basins
[Symbol]	Stabilized Construction Areas
[Symbol]	Grass Stabilization

SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. Erosion control measures shall be installed and maintained throughout the construction process.

2. Sediment basins shall be installed at all points where runoff enters the site.

3. Stabilized construction areas shall be used to minimize soil erosion on exposed earth.

4. Grass stabilization shall be used for long-term erosion control on non-impervious areas.

GRADING NOTES

1. All grading shall be in accordance with the approved grading plan.

2. The contractor shall maintain a minimum slope of 2% for all paved areas.

3. Existing topography shall be maintained wherever possible.

LEGEND

[Symbol]	Proposed Building Footprint
[Symbol]	Proposed Parking Area
[Symbol]	Proposed Driveway
[Symbol]	Proposed Street
[Symbol]	Proposed Utility Line
[Symbol]	Proposed Erosion Control Measure
[Symbol]	Proposed Grading Area

J. U. L. I. E.
Professional Engineer
No. 123456789
State of Illinois
Exp. 12/31/2025

BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DISTRICT 100
3401 S GUNDERSON AVENUE
BERWYN, IL 60402

MIDDLE SCHOOL SITE IMPROVEMENTS GRADING AND PAVING PLAN
EMERSON ELEMENTARY SCHOOL AND HERITAGE

No.	Description	Date
1	Issue	10/15/2023
2	Revised	11/01/2023
3	Final	11/15/2023

CONSTRUCTION DOCUMENT
No. 123456789

C-3.2

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ARCHITECT
 GREEN ASSOCIATES, INC.
 111 DEARBORN ROAD, SUITE 108
 BERWYN, IL 60402
 708/371-0200 F 708/371-0200

CIVIL ENGINEER
 ERIKSSON ENGINEERING
 ASSOCIATES, LTD.
 1101 N. LEXINGTON AVENUE, SUITE 4
 CHICAGO, IL 60610
 312/352-4001 F 312/352-4001

MEP ENGINEER
 BERWYN SCHOOL DISTRICT
 200 WEST GUNDESSON STREET
 SUITE 2000, BERWYN, IL 60402
 708/371-1000 F 708/371-1000

BERWYN SITE IMPROVEMENTS
 SOUTH BERWYN SCHOOL DISTRICT 100
 3401 S GUNDESSON AVENUE
 BERWYN, IL 60402

PERSHING ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 DEMOLITION PLAN

NO.	Revision	Date	By	Description	Date
1	01	02 APR 2010			

Project Number
 1111111111

Project Name
 DEMOLITION DOCUMENTS

Scale
 AS SHOWN

C-4.0

PERSHING ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 6837 W. 37TH STREET
 BERWYN, IL 60402



ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.
 1101 N. LEXINGTON AVENUE, SUITE 4
 CHICAGO, IL 60610
 312/352-4001 F 312/352-4001

DEMOLITION LEGEND

- Existing Structure
- Proposed Structure
- Existing Site
- Proposed Site
- Existing Utility
- Proposed Utility
- Existing Easement
- Proposed Easement

DEMOLITION NOTES

1. ALL EXISTING STRUCTURES TO BE DEMOLISHED AS SHOWN ON THIS PLAN.

2. ALL EXISTING UTILITIES TO BE REMOVED AS SHOWN ON THIS PLAN.

3. ALL EXISTING EASEMENTS TO BE REMOVED AS SHOWN ON THIS PLAN.

4. ALL PROPOSED UTILITIES TO BE INSTALLED AS SHOWN ON THIS PLAN.

5. ALL PROPOSED EASEMENTS TO BE INSTALLED AS SHOWN ON THIS PLAN.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO CODES AND ORDINANCES.

2. ALL UTILITIES SHALL BE LOCATED AND DEPTHS SHALL BE AS SHOWN ON THE UTILITY RECORDS.

3. ALL STRUCTURES SHALL BE DEMOLISHED TO A MINIMUM FINISH GRADE OF 2.0 FEET BELOW FINISH GRADE.

4. ALL EXISTING STRUCTURES TO BE DEMOLISHED SHALL BE REMOVED TO A MINIMUM FINISH GRADE OF 2.0 FEET BELOW FINISH GRADE.

5. ALL EXISTING UTILITIES TO BE REMOVED SHALL BE REMOVED TO A MINIMUM FINISH GRADE OF 2.0 FEET BELOW FINISH GRADE.

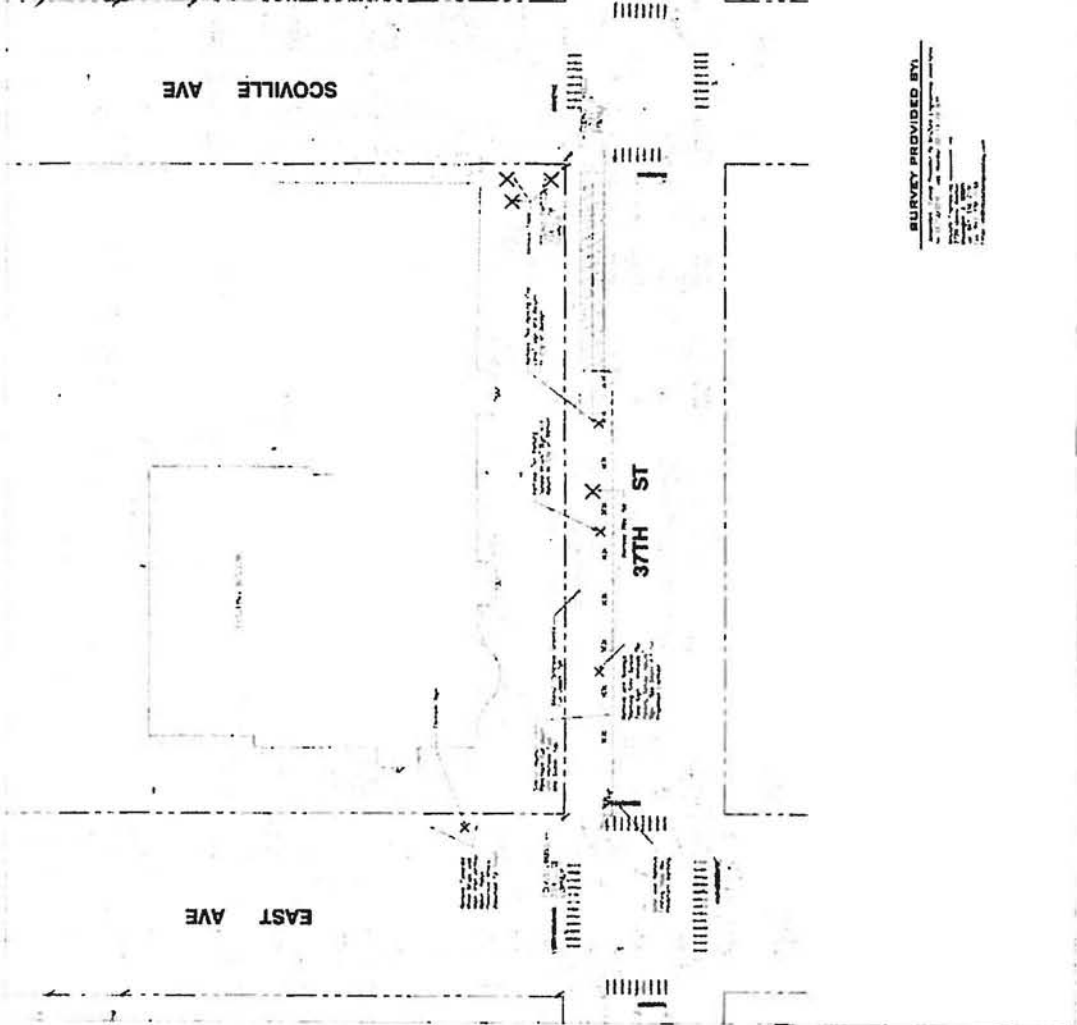
REFERENCE BENCHMARK

CHICAGO CITY ENGINEER'S BENCHMARK
 1111 N. LEXINGTON AVENUE
 CHICAGO, IL 60610

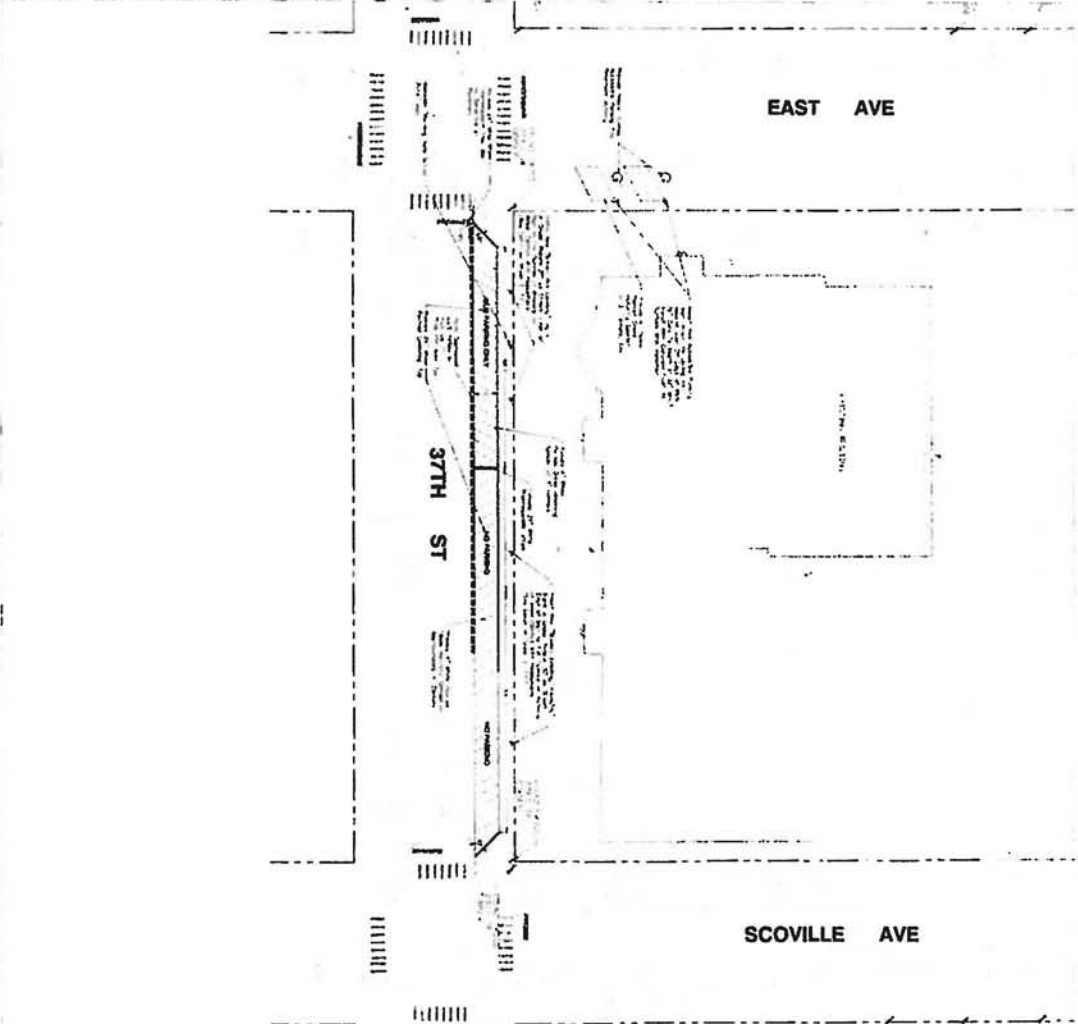


LEGEND

- Existing Structure
- Proposed Structure
- Existing Site
- Proposed Site
- Existing Utility
- Proposed Utility
- Existing Easement
- Proposed Easement



SURVEY PROVIDED BY:
 [Name]
 [Address]
 [City, State, Zip]
 [Phone Number]
 [Fax Number]



**PERSHING ELEMENTARY SCHOOL
SITE IMPROVEMENTS**
6537 W. 37TH STREET
BERWYN, IL 60402



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
1111 DEERVALE ROAD, SUITE 100
MORTON, ILLINOIS 60451
TEL: 815.399.1111
WWW.ERIKSSON-ENGINEERING.COM



GREEN ASSOCIATES, INC.
1111 DEERVALE ROAD, SUITE 100
MORTON, ILLINOIS 60451
TEL: 815.399.1111
WWW.GREENASSOCIATES.COM



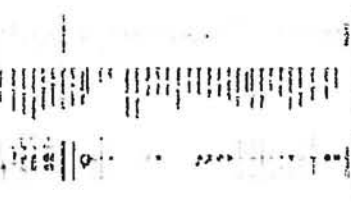
GEOMETRY NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CURB UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SIDEWALK UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PLAZA UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PARKING LOT UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE PLAYGROUND UNLESS OTHERWISE NOTED.

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEYING INFORMATION FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AS-BUILT INFORMATION FROM THE APPROPRIATE AGENCIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS FROM THE APPROPRIATE AGENCIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD PLANS FROM THE APPROPRIATE AGENCIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD SECTIONS FROM THE APPROPRIATE AGENCIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD ELEVATIONS FROM THE APPROPRIATE AGENCIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DIMENSIONS FROM THE APPROPRIATE AGENCIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD NOTES FROM THE APPROPRIATE AGENCIES.

LEGEND



TITLE
PERSHING ELEMENTARY SCHOOL
SITE IMPROVEMENTS
SITE GEOMETRY PLAN

BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DISTRICT 100
3401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402

**PERSHING ELEMENTARY SCHOOL
SITE IMPROVEMENTS
SITE GEOMETRY PLAN**

DATE
11/11/2010

BY
[Signature]

APPROVED
[Signature]

SCALE
AS SHOWN

PROJECT NO.
C-4.1

DATE PLOTTED
11/11/2010 10:43 AM

GREEN ASSOCIATES

ARCHITECT
 11100 W. 111th Street, Suite 100
 Overland Park, Kansas 66204
 Tel: 913-641-1100 Fax: 913-641-1101

CIVIL ENGINEER
 ERIKSSON ENGINEERING ASSOCIATES, LTD.
 1400 W. 111th Street, Suite 100
 Overland Park, Kansas 66204
 Tel: 913-641-1100 Fax: 913-641-1101

MECHANICAL ENGINEER
 C&E ENGINEERING ASSOCIATES, LTD.
 1400 W. 111th Street, Suite 100
 Overland Park, Kansas 66204
 Tel: 913-641-1100 Fax: 913-641-1101



**PERSHING ELEMENTARY SCHOOL
 SITE IMPROVEMENTS**
 6537 W. 37TH STREET
 BERWYN, IL 60402

PAVING & SURFACE LEGEND

[Symbol]	Asphalt Concrete
[Symbol]	Gravel
[Symbol]	Gravel with 1% Slope
[Symbol]	Gravel with 2% Slope
[Symbol]	Gravel with 3% Slope
[Symbol]	Gravel with 4% Slope
[Symbol]	Gravel with 5% Slope
[Symbol]	Gravel with 6% Slope
[Symbol]	Gravel with 7% Slope
[Symbol]	Gravel with 8% Slope
[Symbol]	Gravel with 9% Slope
[Symbol]	Gravel with 10% Slope

**SOIL EROSION &
 SEDIMENTATION CONTROL
 LEGEND**

[Symbol]	Grass
[Symbol]	Grass with 1% Slope
[Symbol]	Grass with 2% Slope
[Symbol]	Grass with 3% Slope
[Symbol]	Grass with 4% Slope
[Symbol]	Grass with 5% Slope
[Symbol]	Grass with 6% Slope
[Symbol]	Grass with 7% Slope
[Symbol]	Grass with 8% Slope
[Symbol]	Grass with 9% Slope
[Symbol]	Grass with 10% Slope

**SOIL EROSION &
 SEDIMENTATION CONTROL
 NOTES**

1. All areas to be planted with grass shall be prepared in accordance with the following specifications:

- Remove all rocks, stumps, and other debris.
- Grade to a smooth surface.
- Apply a 2-inch layer of topsoil.
- Plant grass seed at a rate of 10 lbs. per 1,000 sq. ft.
- Water and maintain until established.



GENERAL NOTES

1. All work shall be in accordance with the latest edition of the Standard Specifications for Highway Construction, published by the Illinois State Board of Transportation.

2. All areas to be paved shall be prepared in accordance with the following specifications:

- Remove all rocks, stumps, and other debris.
- Grade to a smooth surface.
- Apply a 2-inch layer of topsoil.
- Apply a 4-inch layer of gravel.
- Apply a 4-inch layer of asphalt concrete.

LEGEND

[Symbol]	Proposed Paving
[Symbol]	Proposed Gravel
[Symbol]	Proposed Grass
[Symbol]	Proposed Erosion Control
[Symbol]	Proposed Sedimentation Control
[Symbol]	Proposed Storm Drain
[Symbol]	Proposed Utility
[Symbol]	Proposed Easement
[Symbol]	Proposed Right-of-Way
[Symbol]	Proposed Property Line
[Symbol]	Proposed Survey
[Symbol]	Proposed Elevation
[Symbol]	Proposed Slope
[Symbol]	Proposed Spot Elevation
[Symbol]	Proposed Contour
[Symbol]	Proposed Spot Contour
[Symbol]	Proposed Spot Elevation and Contour
[Symbol]	Proposed Spot Elevation and Contour with Slope
[Symbol]	Proposed Spot Elevation and Contour with Slope and Easement
[Symbol]	Proposed Spot Elevation and Contour with Slope, Easement, and Right-of-Way
[Symbol]	Proposed Spot Elevation and Contour with Slope, Easement, Right-of-Way, and Survey
[Symbol]	Proposed Spot Elevation and Contour with Slope, Easement, Right-of-Way, Survey, and Elevation
[Symbol]	Proposed Spot Elevation and Contour with Slope, Easement, Right-of-Way, Survey, Elevation, and Spot Contour
[Symbol]	Proposed Spot Elevation and Contour with Slope, Easement, Right-of-Way, Survey, Elevation, Spot Contour, and Spot Elevation and Contour with Slope

GRADING NOTES

1. All grading shall be in accordance with the latest edition of the Standard Specifications for Highway Construction, published by the Illinois State Board of Transportation.

2. All areas to be graded shall be prepared in accordance with the following specifications:

- Remove all rocks, stumps, and other debris.
- Grade to a smooth surface.
- Apply a 2-inch layer of topsoil.

JULIE

11/15/2004 10:00 AM

BERWYN SITE IMPROVEMENTS
 SOUTH BERWYN SCHOOL DISTRICT 100
 3401 S GUNDERSON AVENUE
 BERWYN, ILLINOIS 60402

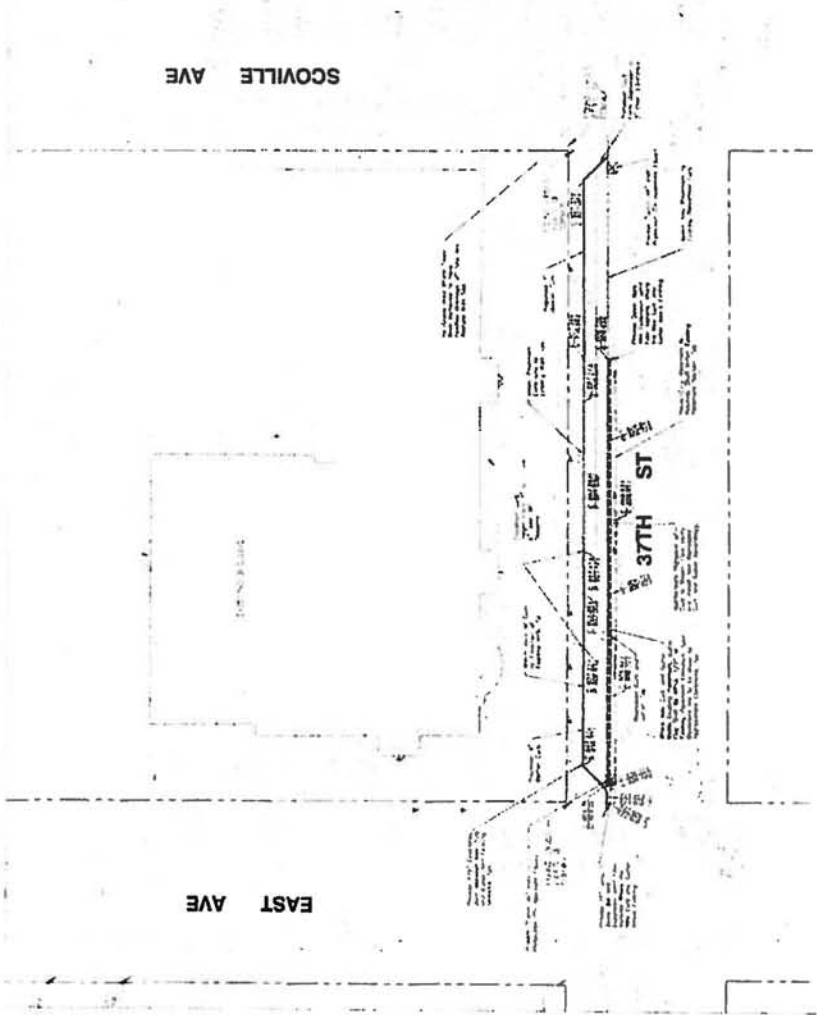
**PERSHING ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 GRADING AND PAVING PLAN**

Project No. 04-001
 Revision No. 1
 Date 11/15/2004

Project Name
 Project Location
 Construction Documents

C-4.2

Sheet No. 04-001-C-4.2



11/15/2004 10:00 AM



ARCHITECT
 GREEN ASSOCIATES, INC.
 111 DEERFIELD ROAD, SUITE 104
 BIRMGHAM, AL 35203-1100
 205-988-1100 F 205-988-1109

ENGINEER
 ERIKSSON ENGINEERING ASSOCIATES, LTD.
 4800 WILSON ROAD, SUITE 200
 BIRMINGHAM, AL 35202-3400
 205-988-1100 F 205-988-1109

MEP ENGINEER
 ERIKSSON ENGINEERING ASSOCIATES, LTD.
 4800 WILSON ROAD, SUITE 200
 BIRMINGHAM, AL 35202-3400
 205-988-1100 F 205-988-1109

**IRVING ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 DEMOLITION PLAN**

BERWYN, ILLINOIS 60402
 3401 S GUNDERSON AVENUE
 SOUTH BERWYN SCHOOL DISTRICT 100

DATE: 04/18/2019
 DRAWING NO: 19-001
 PROJECT NO: 19-001

11/15/2018
 PROJECT NO: 19-001
 CONSTRUCTION DOCUMENTS
C-5.0



**ERIKSSON
 ENGINEERING
 ASSOCIATES, LTD.**
 4800 WILSON ROAD, SUITE 200
 BIRMINGHAM, AL 35202-3400
 205-988-1100 F 205-988-1109

**IRVING ELEMENTARY SCHOOL
 SITE IMPROVEMENTS
 3501 S. CLINTON AVENUE
 BERWYN, IL 60402**

DEMOLITION LEGEND

□ Existing Structure
 □ Existing Foundation
 □ Existing Utility
 X Existing Structure to be Demolished

DEMOLITION NOTES

1. All existing structures and foundations shown on this plan are to be demolished.

2. All existing utilities shown on this plan are to be removed.

3. All existing structures and foundations shown on this plan are to be demolished.

GENERAL NOTES

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities.

2. The contractor shall be responsible for protecting all existing structures and foundations not to be demolished.

3. The contractor shall be responsible for removing all debris and materials from the site.

REFERENCE BENCHMARK

1. The reference benchmark for this project is the benchmark located at the intersection of 35th St and Clinton Ave.

2. The elevation of the reference benchmark is 100.00 feet above mean sea level.

LEGEND

□ Existing Structure
 □ Existing Foundation
 □ Existing Utility
 X Existing Structure to be Demolished

PROJECT BENCHMARKS

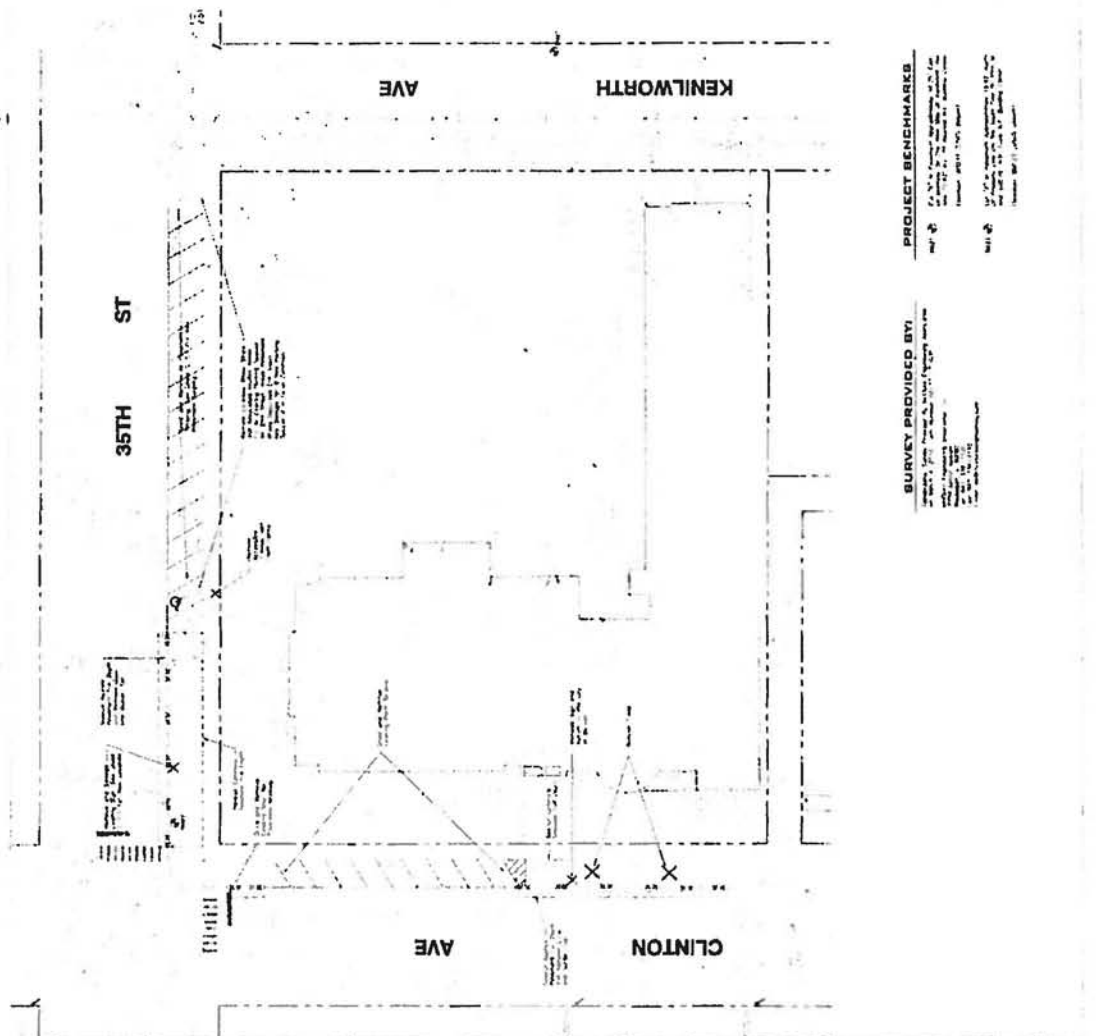
1. The project benchmark for this project is the benchmark located at the intersection of 35th St and Clinton Ave.

2. The elevation of the project benchmark is 100.00 feet above mean sea level.

DEMOLITION PLAN

1. The demolition plan shows the location of all existing structures and foundations to be demolished.

2. The demolition plan also shows the location of all existing utilities to be removed.



DATE: 04/18/2019 3:10:48 PM
 J:\1911\1903\100\CAD\CONSTRUCTION\428104.dwg



**IRVING ELEMENTARY SCHOOL
SITE IMPROVEMENTS
3501 S CLINTON AVENUE
BERWYN, IL 60402**

**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
180 CHICAGO STREET, SUITE 200
NORTON MASSACHUSETTS 01946
TEL: 978/335-3333
FAX: 978/335-3333
www.eriass.com

GREEN ASSOCIATES, INC.
111 DEER LANE ROAD, SUITE 100
NORTON MASSACHUSETTS 01946
TEL: 978/335-3333
FAX: 978/335-3333

CIVIL ENGINEER
ERICSSON ENGINEERING ASSOCIATES, LTD.
180 CHICAGO STREET, SUITE 200
NORTON MASSACHUSETTS 01946
TEL: 978/335-3333
FAX: 978/335-3333

SEAL ENGINEER
ERICSSON ENGINEERING ASSOCIATES, LTD.
180 CHICAGO STREET, SUITE 200
NORTON MASSACHUSETTS 01946
TEL: 978/335-3333
FAX: 978/335-3333

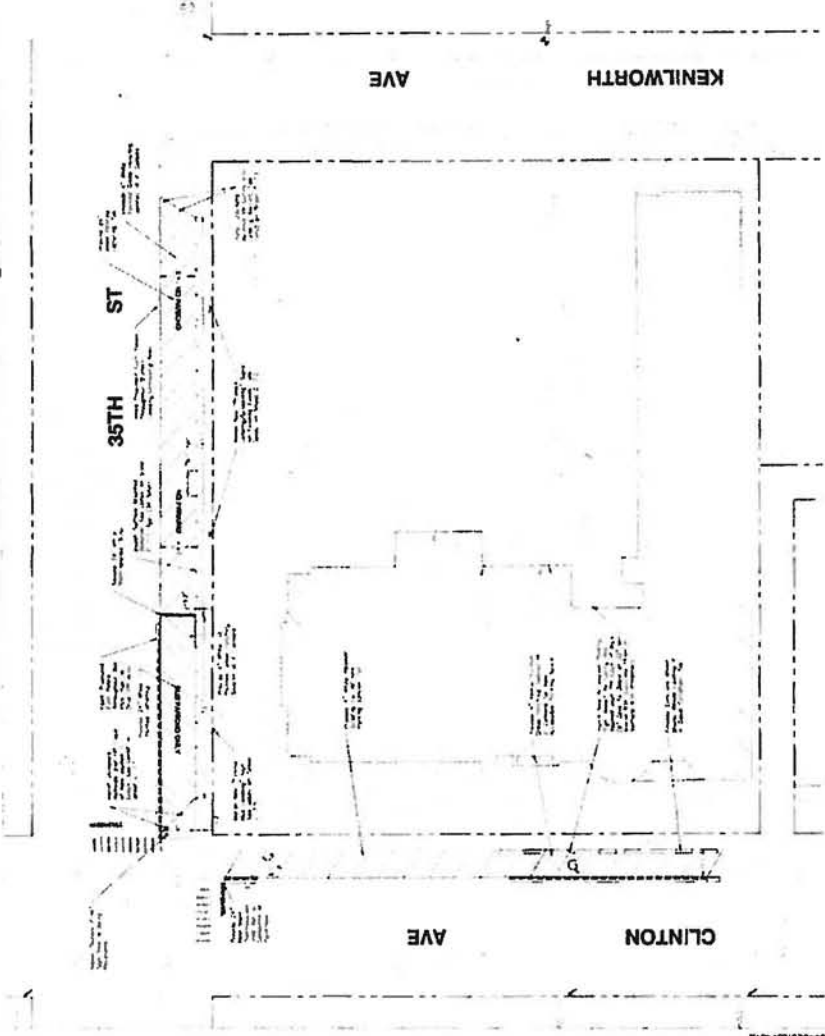
BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DISTRICT 100
3401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402

**IRVING ELEMENTARY SCHOOL
SITE IMPROVEMENTS
SITE GEOMETRY PLAN**

Project No.	178-2709
Date	02 APR 2010
Sheet No.	1
Scale	
Author	
Checker	
Date	

J.L.L.L.L.E.
Professional Engineer
No. 178-2709
Construction Documents
Sheet No. 1 of 1
Date: 02 APR 2010

C-5.1



GEOMETRY NOTES

GENERAL NOTES

LEGEND





**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
3000 N. WILSON AVENUE, SUITE 100
MOUNTAIN VIEW, ILLINOIS 60056
630-229-0011 / FAX 630-229-0891

**IRVING ELEMENTARY SCHOOL
SITE IMPROVEMENTS**
3501 S. CLINTON AVENUE
BERWYN, IL 60402

PAVING & SURFACE LEGEND

- [Symbol] ASPHALT DRIVE
- [Symbol] ASPHALT DRIVE
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**SOIL EROSION &
SEDIMENTATION CONTROL
LEGEND**

- [Symbol] SLOPE PROTECTION
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GRADING NOTES

1. ALL GRADING SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

2. ALL GRADING SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

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GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

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20. ALL CONSTRUCTION SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

**SOIL EROSION &
SEDIMENTATION CONTROL
NOTES**

1. ALL SOIL EROSION & SEDIMENTATION CONTROL SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

2. ALL SOIL EROSION & SEDIMENTATION CONTROL SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

3. ALL SOIL EROSION & SEDIMENTATION CONTROL SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

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15. ALL SOIL EROSION & SEDIMENTATION CONTROL SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

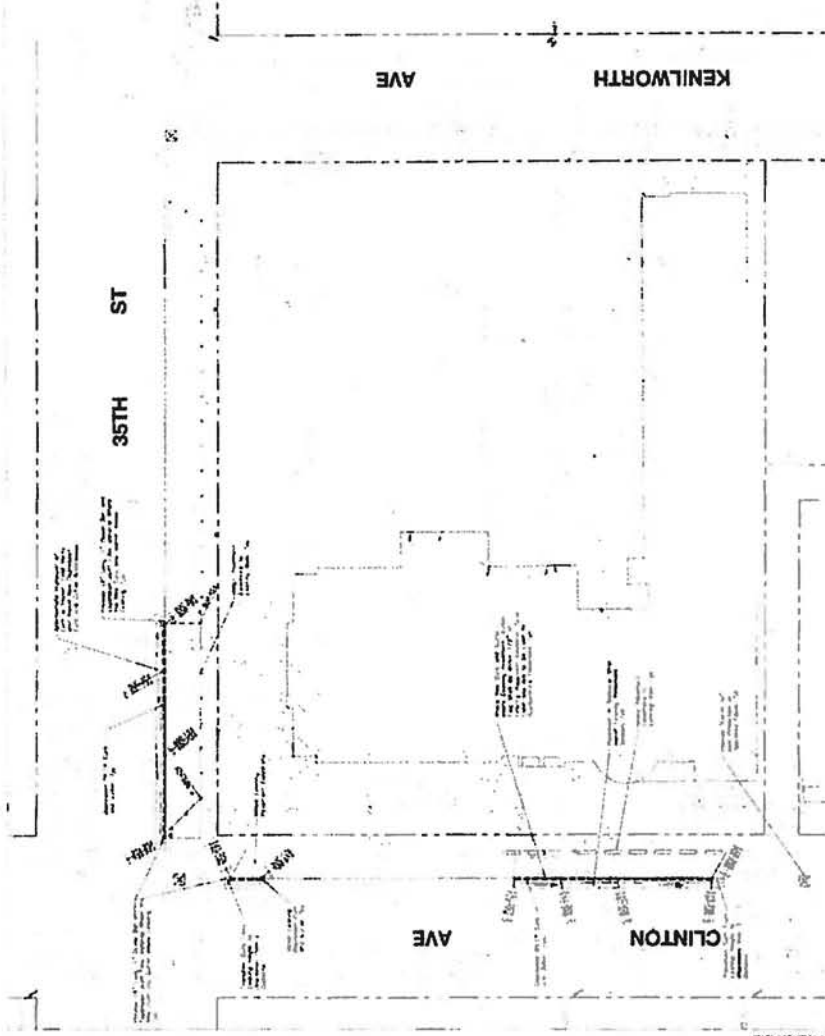
16. ALL SOIL EROSION & SEDIMENTATION CONTROL SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

17. ALL SOIL EROSION & SEDIMENTATION CONTROL SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

18. ALL SOIL EROSION & SEDIMENTATION CONTROL SHALL BE TO FINISHED ELEVATIONS UNLESS OTHERWISE NOTED.

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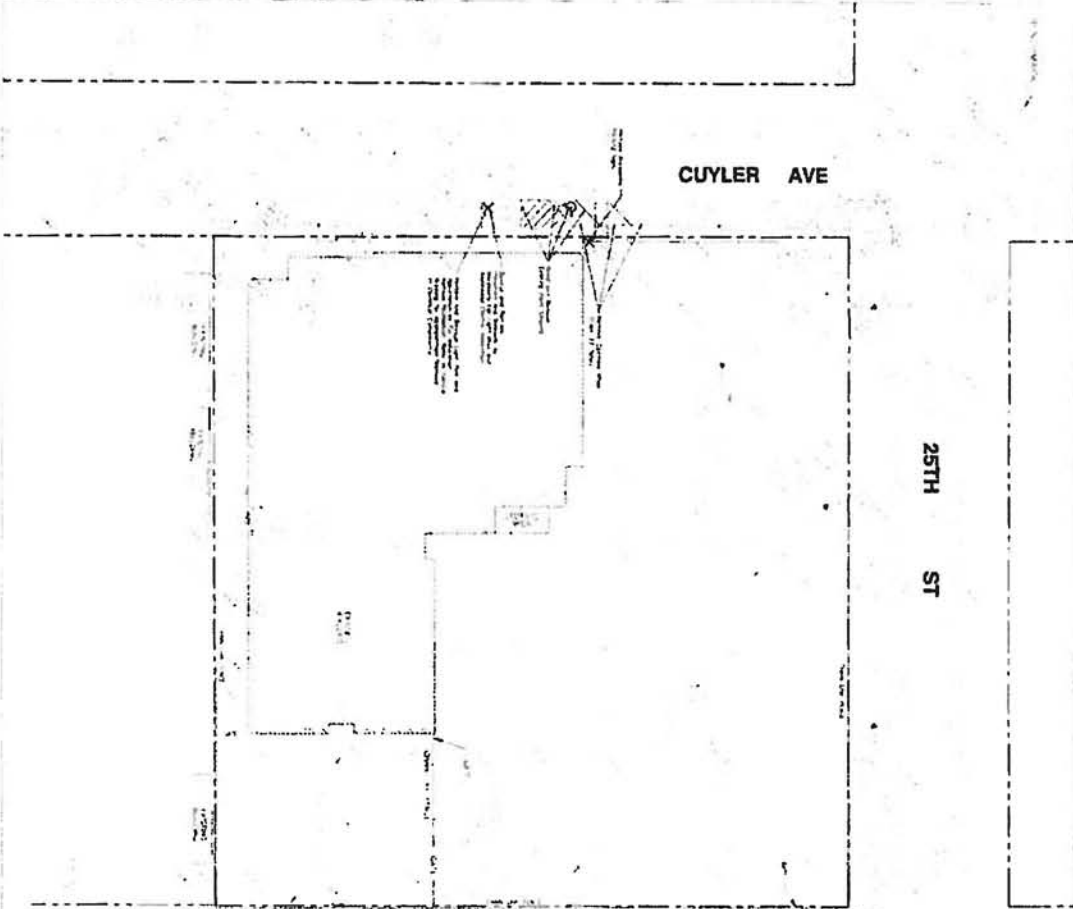


BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL, DIST. CT 100
3401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402
**IRVING ELEMENTARY SCHOOL
SITE IMPROVEMENTS
GRADING AND PAVING PLAN**

NO.	Description	Date
1	Issue	07/14/81
2	Revised	07/14/81

1/10/81
J.U.L.I.E.

C-5.2



CUYLER AVE

25TH ST

HIGHLAND AVE

**KOMENSKY ELEMENTARY SCHOOL
SITE IMPROVEMENTS**

2515 CUYLER AVENUE
BERWYN, IL 60402

DEMOLITION LEGEND

- 1. Existing Building
- 2. Building to be Demolished
- 3. Building to be Retained

DEMOLITION NOTES

1. All existing buildings shown on this plan are to be demolished unless otherwise noted.

2. All existing structures shown on this plan are to be demolished unless otherwise noted.

3. All existing structures shown on this plan are to be demolished unless otherwise noted.

4. All existing structures shown on this plan are to be demolished unless otherwise noted.

5. All existing structures shown on this plan are to be demolished unless otherwise noted.

GENERAL NOTES

1. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

2. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

3. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

4. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

5. All work shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

REFERENCE BENCHMARK

1. The benchmark used for this project is the benchmark located at the intersection of Cuyler Avenue and Highland Avenue.

2. The benchmark used for this project is the benchmark located at the intersection of Cuyler Avenue and Highland Avenue.

3. The benchmark used for this project is the benchmark located at the intersection of Cuyler Avenue and Highland Avenue.

SURVEY PROVIDED BY:

1. The survey was provided by the City of Berwyn.

2. The survey was provided by the City of Berwyn.

3. The survey was provided by the City of Berwyn.



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**

1420 S. MICHIGAN AVE., SUITE 100
CHICAGO, ILLINOIS 60605
TEL: (312) 467-1000
FAX: (312) 467-1001
WWW.ERIKSSON-ENG.COM



LEGEND

- 1. Existing Building
- 2. Building to be Demolished
- 3. Building to be Retained
- 4. Utility Lines
- 5. Easement
- 6. Property Line
- 7. Street Right-of-Way
- 8. Proposed Site Improvements
- 9. Demolition Area
- 10. Retention Area



GREEN ASSOCIATES, INC.
111 DEERVALE ROAD, SUITE 100
NILES, ILLINOIS 60067
TEL: (815) 709-1000
FAX: (815) 709-1001
WWW.GREEN-ASSOCIATES.COM

BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DISTRICT 100
3401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402

**KOMENSKY ELEMENTARY SCHOOL
SITE IMPROVEMENTS
DEMOLITION PLAN**

C-6.0

DATE: 3/20/2013
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

GREEN ASSOCIATES



**KOMENSKY ELEMENTARY SCHOOL
SITE IMPROVEMENTS**
2515 CUYLER AVENUE
BERWYN, IL 60402

**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
1110 W. 111th St., Suite 100
Berwyn, IL 60402
Tel: 708/461-1110
Fax: 708/461-1111

ARCHITECT
GREEN ASSOCIATES, INC.
1110 W. 111th St., Suite 100
Berwyn, IL 60402
Tel: 708/461-1110
Fax: 708/461-1111

CIVIL ENGINEER
ERIKSSON ENGINEERING ASSOCIATES, LTD.
1110 W. 111th St., Suite 100
Berwyn, IL 60402
Tel: 708/461-1110
Fax: 708/461-1111

MECHANICAL ENGINEER
ERIKSSON ENGINEERING ASSOCIATES, LTD.
1110 W. 111th St., Suite 100
Berwyn, IL 60402
Tel: 708/461-1110
Fax: 708/461-1111

ELECTRICAL ENGINEER
ERIKSSON ENGINEERING ASSOCIATES, LTD.
1110 W. 111th St., Suite 100
Berwyn, IL 60402
Tel: 708/461-1110
Fax: 708/461-1111

LANDSCAPE ARCHITECT
ERIKSSON ENGINEERING ASSOCIATES, LTD.
1110 W. 111th St., Suite 100
Berwyn, IL 60402
Tel: 708/461-1110
Fax: 708/461-1111

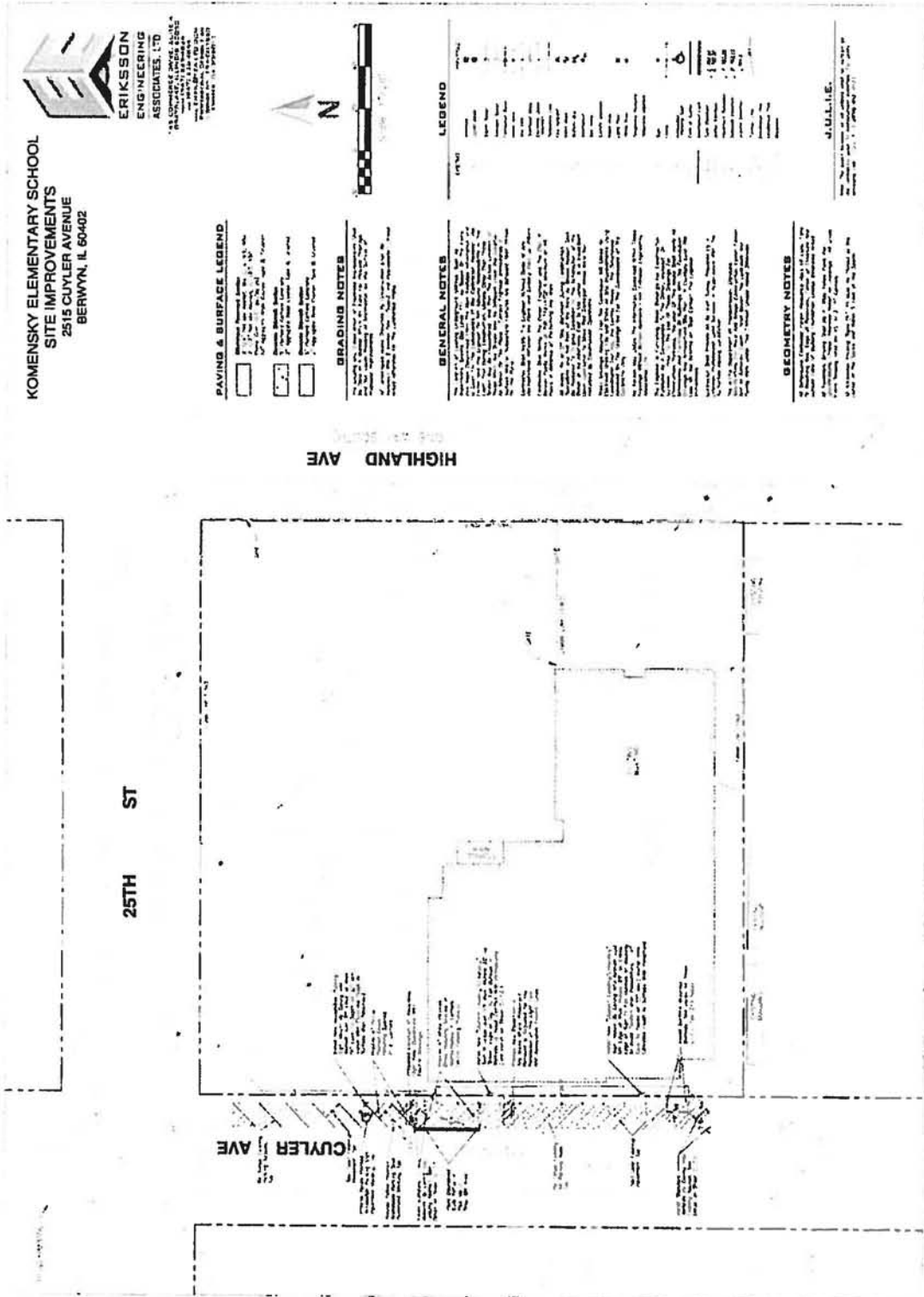
BERWYN SITE IMPROVEMENTS
SOUTH BERWYN SCHOOL DISTRICT 100
2401 S GUNDERSON AVENUE
BERWYN, ILLINOIS 60402

**KOMENSKY ELEMENTARY SCHOOL
SITE IMPROVEMENTS
SITE GEOMETRY AND PAVING PLAN**

Sheet No. 21
Date 02 APR 2013
Description

Project No.
Contractor Document

C-6.1



PAVING & SURFACE LEGEND

- Existing Paved Area
- Proposed Paved Area
- Proposed Concrete Paved Area
- Proposed Asphalt Paved Area
- Proposed Gravel Paved Area
- Proposed Gravel Paved Area with Aggregate
- Proposed Gravel Paved Area with Aggregate and Geotextile
- Proposed Gravel Paved Area with Aggregate and Geotextile and Drainage
- Proposed Gravel Paved Area with Aggregate and Geotextile and Drainage and Stormwater Management

GRADING NOTES

- Grading to be done in accordance with the attached grading plan.
- Grading to be done in accordance with the attached grading plan and the attached grading notes.
- Grading to be done in accordance with the attached grading plan and the attached grading notes and the attached grading notes.
- Grading to be done in accordance with the attached grading plan and the attached grading notes and the attached grading notes and the attached grading notes.

GENERAL NOTES

- Grading to be done in accordance with the attached grading plan and the attached grading notes.
- Grading to be done in accordance with the attached grading plan and the attached grading notes and the attached grading notes.
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- Grading to be done in accordance with the attached grading plan and the attached grading notes and the attached grading notes and the attached grading notes and the attached grading notes.

GEOMETRY NOTES

- Grading to be done in accordance with the attached grading plan and the attached grading notes.
- Grading to be done in accordance with the attached grading plan and the attached grading notes and the attached grading notes.
- Grading to be done in accordance with the attached grading plan and the attached grading notes and the attached grading notes and the attached grading notes.
- Grading to be done in accordance with the attached grading plan and the attached grading notes and the attached grading notes and the attached grading notes and the attached grading notes.

LEGEND

- Proposed Paved Area
- Proposed Concrete Paved Area
- Proposed Asphalt Paved Area
- Proposed Gravel Paved Area
- Proposed Gravel Paved Area with Aggregate
- Proposed Gravel Paved Area with Aggregate and Geotextile
- Proposed Gravel Paved Area with Aggregate and Geotextile and Drainage
- Proposed Gravel Paved Area with Aggregate and Geotextile and Drainage and Stormwater Management

J. M. L. L. E.

HIGHLAND AVE

25TH ST

CUYLER AVE

GROUP EXHIBIT B

CONSTRUCTION DOCUMENTS



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
1411 W. 10th St., Suite 200
Berwyn, IL 60402
Tel: 708.339.1100
Fax: 708.339.1101
www.eriksson-engineering.com

**SOUTH BERWYN SCHOOL
DISTRICT 100
PIPER ELEMENTARY SCHOOL
SITE IMPROVEMENTS**
2435 S. Kenilworth Ave.
Berwyn, IL 60402

Revision	Description
1	Initial Issue
2	Revised
3	Revised
4	Revised
5	Revised
6	Revised
7	Revised
8	Revised
9	Revised
10	Revised

DATE: 10/15/10
DRAWN BY: J.S.L.L.E.
CHECKED BY: J.S.L.L.E.
APPROVED BY: J.S.L.L.E.

**SITE
GEOMETRY
AND PAVING
PLAN**

C-2



LEGEND

[Symbol]	Proposed Paving
[Symbol]	Proposed Concrete
[Symbol]	Proposed Asphalt
[Symbol]	Proposed Gravel
[Symbol]	Proposed Sand
[Symbol]	Proposed Soil
[Symbol]	Proposed Erosion Control
[Symbol]	Proposed Sedimentation Control
[Symbol]	Proposed Catch-Ball
[Symbol]	Proposed Inlet Protector
[Symbol]	Proposed Sign
[Symbol]	Proposed Curb & Gutter

PAVING & SURFACE LEGEND

[Symbol]	Proposed Paving
[Symbol]	Proposed Concrete
[Symbol]	Proposed Asphalt
[Symbol]	Proposed Gravel
[Symbol]	Proposed Sand
[Symbol]	Proposed Soil

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

[Symbol]	Proposed Erosion Control
[Symbol]	Proposed Sedimentation Control

GEOMETRY NOTES

1. All dimensions are in feet and inches.
2. All angles are in degrees.
3. All elevations are in feet above sea level.
4. All bearings are in degrees, minutes, and seconds.
5. All curves are in feet.
6. All grades are in percent.
7. All slopes are in feet per foot.
8. All setbacks are in feet.
9. All easements are in feet.
10. All utility lines are in feet.

GRADING NOTES

1. All grading is to be done in accordance with the attached grading plan.
2. All grading is to be done in accordance with the attached site plan.
3. All grading is to be done in accordance with the attached site plan.
4. All grading is to be done in accordance with the attached site plan.
5. All grading is to be done in accordance with the attached site plan.
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10. All grading is to be done in accordance with the attached site plan.

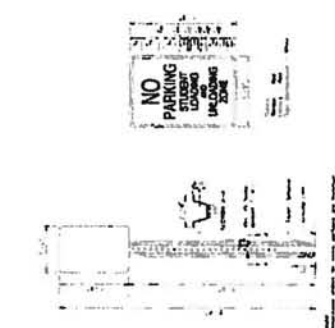
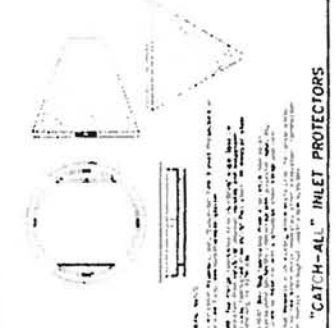
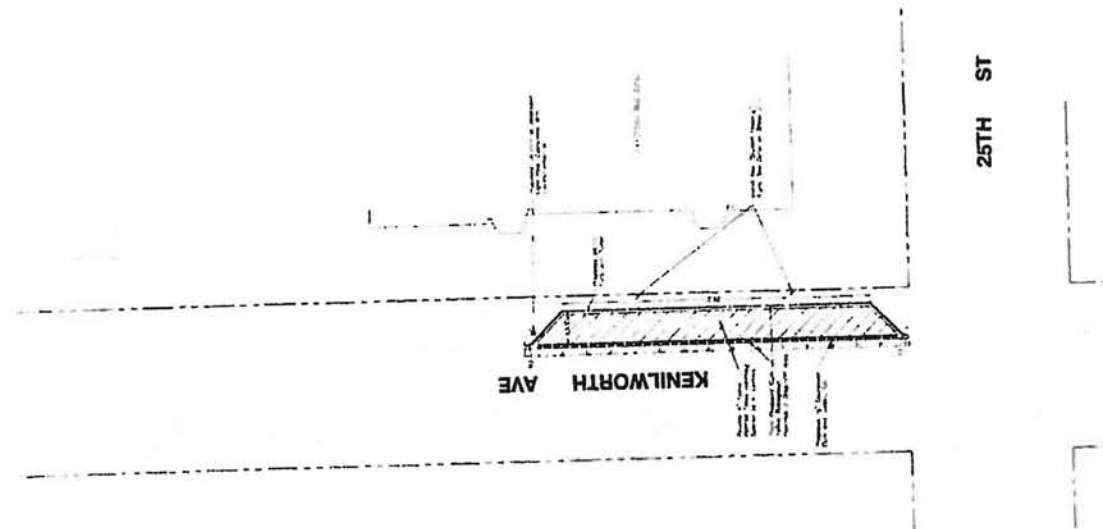
SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. All erosion control measures are to be installed in accordance with the attached site plan.
2. All sedimentation control measures are to be installed in accordance with the attached site plan.
3. All erosion control measures are to be installed in accordance with the attached site plan.
4. All sedimentation control measures are to be installed in accordance with the attached site plan.
5. All erosion control measures are to be installed in accordance with the attached site plan.
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7. All erosion control measures are to be installed in accordance with the attached site plan.
8. All sedimentation control measures are to be installed in accordance with the attached site plan.
9. All erosion control measures are to be installed in accordance with the attached site plan.
10. All sedimentation control measures are to be installed in accordance with the attached site plan.

GENERAL NOTES

1. All work is to be done in accordance with the attached site plan.
2. All work is to be done in accordance with the attached site plan.
3. All work is to be done in accordance with the attached site plan.
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9. All work is to be done in accordance with the attached site plan.
10. All work is to be done in accordance with the attached site plan.

J.S.L.L.E.



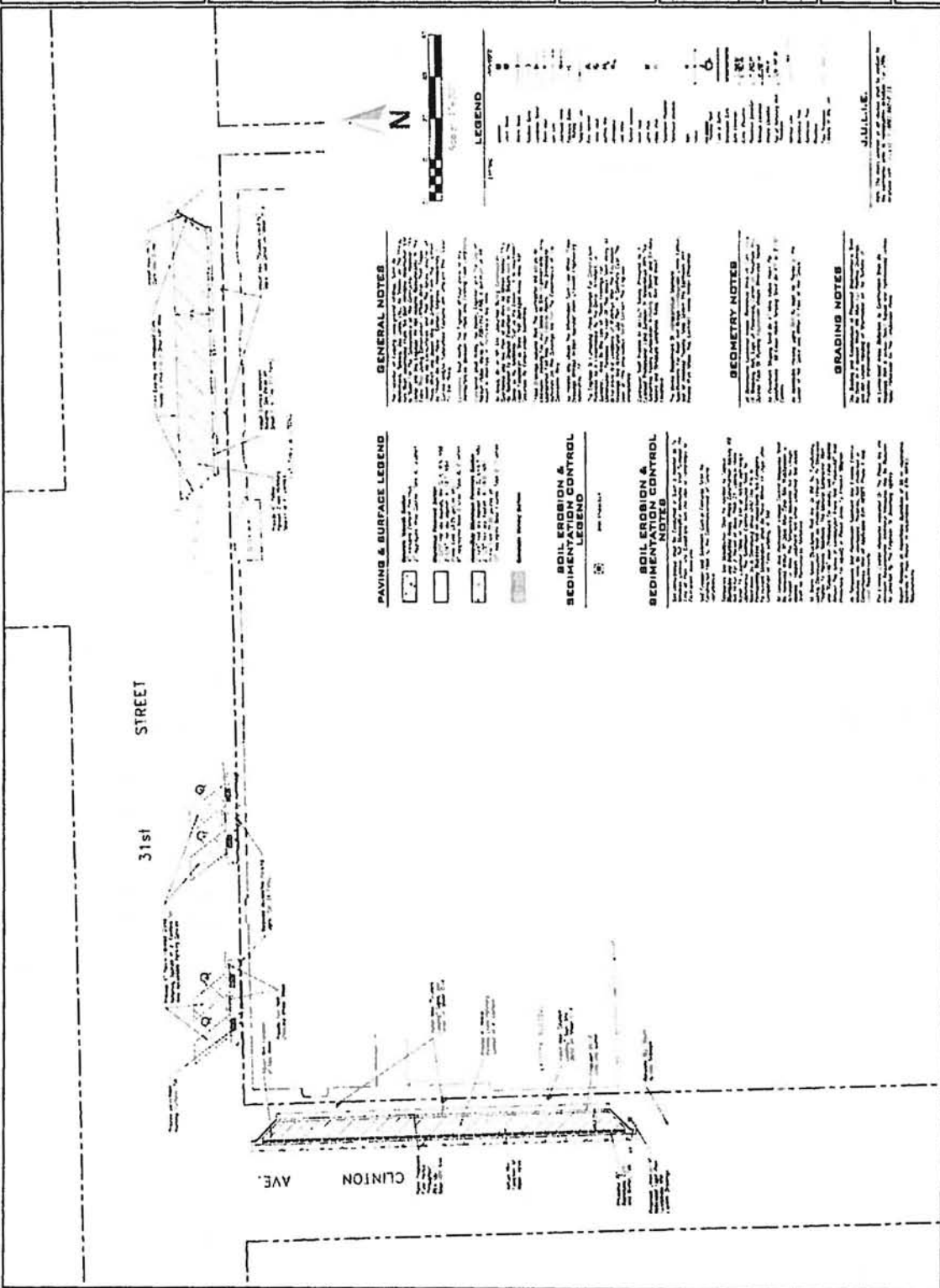


**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
148 EDWARDS DRIVE, SUITE 200
BERRYVILLE, ILLINOIS 62503
TEL: 618-231-1100
FAX: 618-231-1101
WWW.ERIKSSON-ENG.COM

**SOUTH BERRYVILLE SCHOOL
DISTRICT 100
EMERSON ELEMENTARY SCHOOL AND HERITAGE
MIDDLE SCHOOL SITE IMPROVEMENTS**
3105 S. Clinton Avenue
Berryville, IL 62502

**SITE
GEOMETRY
AND PAVING
PLAN**

C-2



GENERAL NOTES

1. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND THE ILLINOIS DEPARTMENT OF HIGHWAYS (IDH).
2. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) AND THE ILLINOIS DEPARTMENT OF HIGHWAYS (IDH).
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SOIL EROSION & SEDIMENTATION CONTROL LEGEND

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SOIL EROSION & SEDIMENTATION CONTROL NOTES

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J.M.L.L.E.
11/11/11



**ERIKSSON
ENGINEERING
ASSOCIATES, LTD.**
1000 N. W. 10th Street
Fort Lauderdale, Florida 33304
Phone: (305) 461-1111
Telex: 511000
FAX: (305) 461-1111

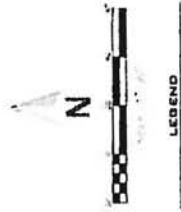
SOUTH BERYN SCHOOL
DISTRICT 100
HIAMATHA ELEMENTARY SCHOOL
SITE IMPROVEMENTS
8539 West 20th Street
Berwyn, IL 60402

Rev.	Date	Description

Project No. _____
Sheet No. _____
Scale _____

**SITE
GEOMETRY
AND PAVING
PLAN**

C-2



LEGEND

- Proposed Paving
- Proposed Surface
- Proposed Grading
- Proposed Erosion Control
- Proposed Sedimentation Control
- Proposed Geometry
- Proposed Sign
- Proposed Catch-All
- Proposed Inlet
- Proposed Curb
- Proposed Gutter
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Water Main
- Proposed Gas Main
- Proposed Electric Main
- Proposed Telephone Main
- Proposed Fire Main
- Proposed Sewer
- Proposed Storm Sewer
- Proposed Sanitary Sewer
- Proposed Water Main
- Proposed Gas Main
- Proposed Electric Main
- Proposed Telephone Main
- Proposed Fire Main

PAVING & SURFACE LEGEND

- Proposed Paving
- Proposed Surface

SOIL EROSION & SEDIMENTATION CONTROL LEGEND

- Proposed Erosion Control
- Proposed Sedimentation Control

GEOMETRY NOTES

1. All proposed geometry shall be in accordance with the City of Berwyn Engineering Department specifications.

GRADING NOTES

1. All proposed grading shall be in accordance with the City of Berwyn Engineering Department specifications.

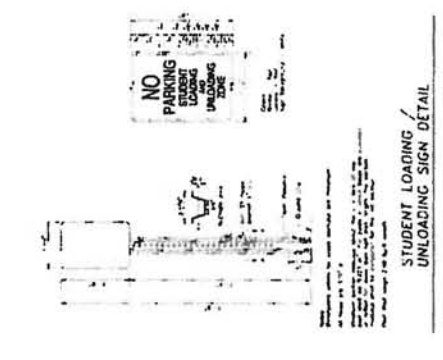
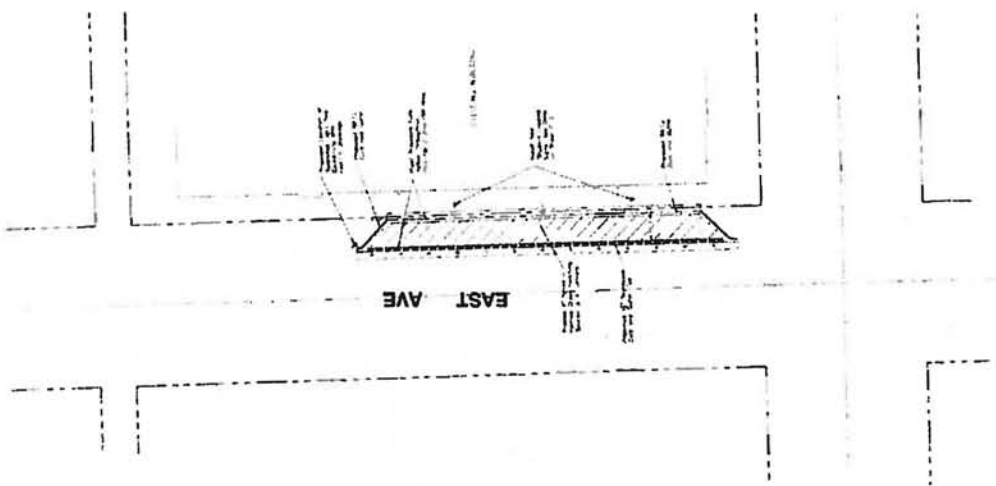
SOIL EROSION & SEDIMENTATION CONTROL NOTES


1. All proposed erosion and sedimentation control shall be in accordance with the City of Berwyn Engineering Department specifications.

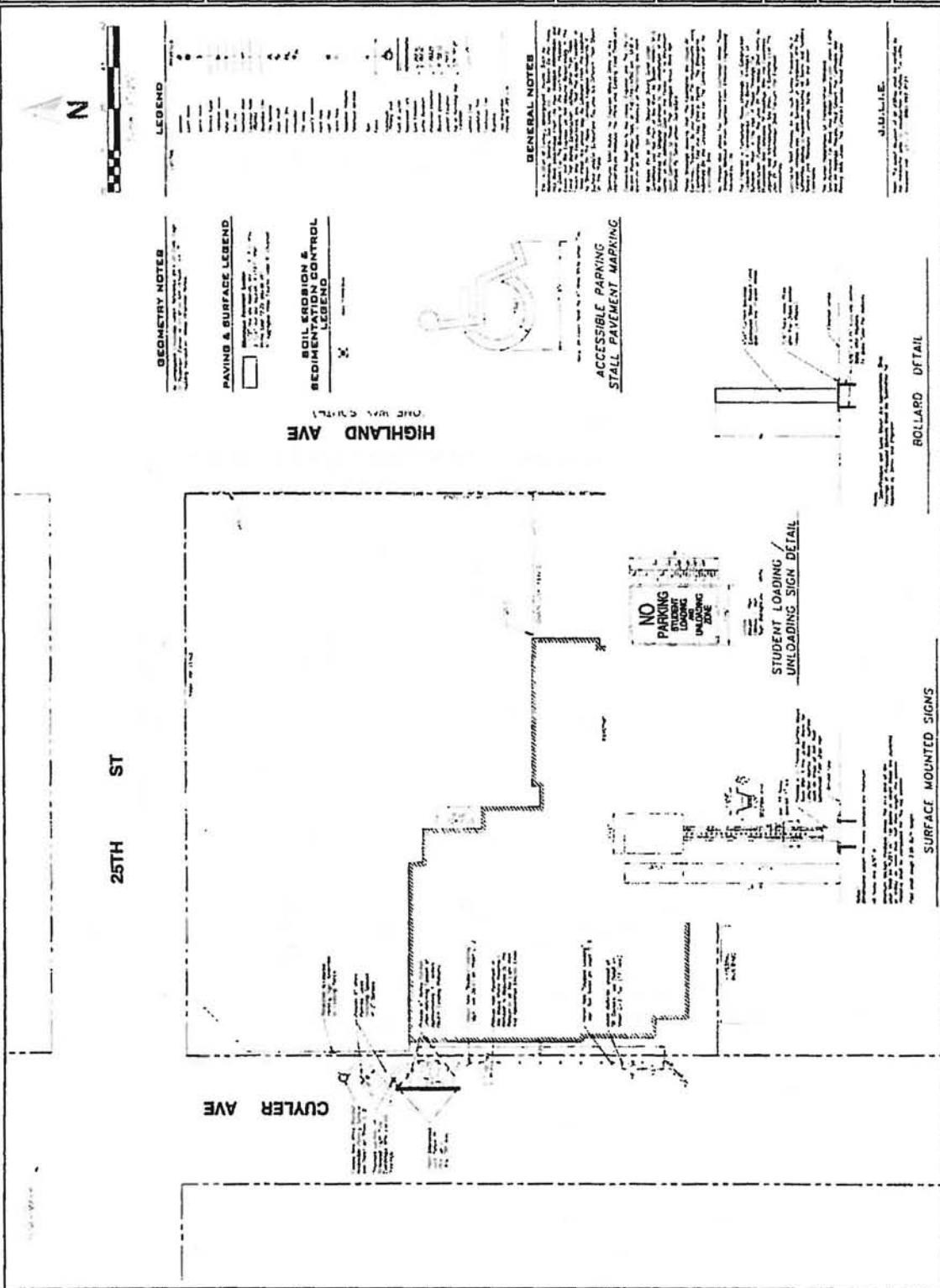
GENERAL NOTES

1. All proposed work shall be in accordance with the City of Berwyn Engineering Department specifications.

JUL 1, 1992



 <p>ERIKSSON ENGINEERING ASSOCIATES, LTD. 14 COLUMBIA BLVD. SUITE 200 DOWNEY, ILL. 60402 TEL: (708) 433-8800 FAX: (708) 433-8801 WWW.ERIKSSON-ILL.COM</p>	<p>SOUTH BERWYN SCHOOL DISTRICT 100 KOMENSKY ELEMENTARY SCHOOL SITE IMPROVEMENTS 2515 Cuyler Avenue Berwyn, IL 60402</p>		<p>Exp. Date: _____ Rev. _____</p>	<p>SITE GEOMETRY AND PAVING PLAN</p>	<p>C-2</p>
	<p>DATE: _____</p>				





BERWYN MAIN STREET

Shop • Dine • Explore Cermak Road

Thursday, June 03, 2010

Hon. Robert J. Lovero
Alderman of the Berwyn City Council
6700 W. 26th Street
Berwyn, IL 60402

RE: Berwyn Main Street – SLAP – Sign Lighting and Awning Program

Ladies and Gentlemen:

The Berwyn Development Corporation on January 30, 2010 held the 2010 Economic Overview/Strategic Planning Session for the four business corridors within the City of Berwyn. One of the items on the list for implementation for the Cermak Road Corridor was a façade & signage improvement grant program.

The attached documents outline the proposed SLAP initiative that will be administered by Berwyn Main Street.

The BDC on February 23, 2010 at the open Committee of the Whole presented a list of projects to be completed from the Cermak TIF. The SLAP program is part of that project list.

The BMS is recommending the amount of \$250,000 be approved from the Cermak TIF for the SLAP grant program.

Respectfully,

Dario Solano
Executive Director
Berwyn Main Street

BERWYN MAIN STREET

7045 Cermak Road
Berwyn, Illinois 60402

708 484 8000
www.berwynmainstreet.org

An Illinois Main Street Program

Design Guidelines for the Sign, Lighting & Awning Program (SLAP)

CITY OF BERWYN

DOWNTOWN DESIGN GUIDELINES

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INTRODUCTION

Downtown Berwyn is a vibrant, distinctive, multi-cultural, small-scale urban neighborhood offering a variety of goods and services as well as specialty shops.

The Berwyn Main Street (BMS) encourages property owners, merchants and residents to recognize, enhance, protect and promote the district's unique character and identity. To assist business and property owners in improving their storefronts as part of this revitalization process, the BMS has created these guidelines for its Sign, Lighting and Awning Program (SLAP), which offers grants. The program seeks to develop a more coherent, creative and attractive appearance in downtown Berwyn. These guidelines provide general information about the renovation of existing buildings and considerations for new development. Additional guidance is available through BMS's Design Committee.

The economic vitality as well as the aesthetic quality of each business enterprise is important; and both are linked in part to the success of surrounding commercial establishments. Studies have shown that thoughtful design improvements often lead to greater sales for a business. Similarly, the physical character of Downtown Berwyn can contribute greatly to the overall image of the community for its residents, customers and visitors. By establishing these guidelines, the BMS hopes that several important public and private objectives can be met, including:

- Enhancement of the commercial success of downtown Berwyn by ensuring a pleasant experience for business patrons.
- Preservation and enhancement of downtown Berwyn's historic buildings, streetscape, and architectural features.
- Recognition that downtown Berwyn is a community with unique qualities and characteristics, which should be reinforced by planning and improvements specific and appropriate to this place.

Sign, Lighting and Awning Program (SLAP) applications are available from the BMS office, 7045 Cermak Road. Any questions should be directed to the Executive Director.

Anatomy of a Building Façade

Overall Goals

The goal of the Berwyn Main Street (BMS) is to revitalize the downtown, not to gentrify it or change it into a different place. Through its Main Street program, the BMS hopes to make downtown Berwyn and its buildings better versions of themselves, not to mimic malls, suburbs or even other commercial districts. The BMS encourages renovations and improvements, which create a unique and attractive image for each business while respecting the original design parameters of its façade as well as those of its neighbors. Finally, while the BMS values high design standards and creativity, it also encourages solutions, which achieve these goals affordably so that business and property owners are benefited rather than burdened by the revitalization process.

In General:

In all cases, buildings currently of historic significance or remarkable in design shall be carefully scrutinized for compatibility with proposed changes or improvements by the Design Committee.

- Each building or storefront, while under ownership by the same individual or entity, shall be allowed participation in SLAP funding only once. Building's with multiple storefronts shall be allowed participation in the SLAP funding for each separate storefront within that building.
- SLAP participation other than signs, lights and awnings will be allowed on only buildings with historic significance or remarkable in design at the sole discretion of the Design Committee.
- SLAP participation for any building will be the ultimate and sole decision of the Design Committee followed by the approval of the BMS Board.
- The Design Committee will encourage consistency in existing architectural flavor and color schemes for the subject property and consistency with surrounding properties.
- SLAP applications must be backed with architectural or design plans and supporting cost estimates from approved contractors' bids.
- Any approved SLAP components falling outside of the buildings property lines must have formal City of Berwyn approval.

- SLAP participation is limited to a maximum of \$10,000 and a minimum of \$400 on any one building or storefront.
- All improvements must be compatible with applicable zoning codes, satisfy permit requirements, and conform to any other regulatory restrictions.
- Creativity is always encouraged.
- If a building has historic or aesthetic merit, improvements should be designed to reveal the building's original style, form, and materials, whenever possible.
- A building's distinguishing elements should be identified and preserved, when possible.
- Previous renovations are sometimes evidence of a building's history and use. In instances where alterations have acquired their own significance and contribute a positive visual quality to the building and the district, they should be recognized and preserved. However, when they are not integrated into the building's design, added elements should be removed.
- In the case where original building elements have been removed or substantially altered, contemporary treatments are suitable. However, they should not appear to be of poor quality, of temporary nature, or ill suited to the area (e.g., vinyl, aluminum siding, stucco or EIFS).
- Individuality within a standardized or unified appearance is encouraged for single buildings containing multiple storefronts. Separate buildings, even in cases where several adjacent to each other are occupied by a single tenant or owner, should remain visually distinct.
- Colors of exterior materials, signs, window frames, cornices, storefronts and other building features should be coordinated. Choice of colors should be determined by the nature of the building. The exterior colors of historic buildings should be chosen with their historic character in mind. More contemporary designs may allow for a larger range of colors.
- Façades should relate to their surroundings and provide a sense of cohesiveness in the district without strict uniformity.
- Façades should present a visually balanced composition.

GUIDELINES

Storefront Design and Display

- Most façades consist of an architectural framework designed to identify individual storefronts. Each storefront should respect this architectural framework and not extend beyond it.
- Storefronts' design should be in keeping with a building's overall design. Storefront elements, such as windows, entrances, and signage, provide clarity and lend interest to façades. It is important that the distinction between individual storefronts, the entire building façade, and adjacent properties be maintained.
- Storefronts should be clearly defined by architectural elements, such as pillars, piers, or glass separations.
- A horizontal band at the top of each storefront can serve as an appropriate location for business signage.
- Storefront windows should be consistent in height and design with storefront doors to create a cohesive appearance. A minimum of eighty percent (80%) of a storefront between 2 feet and 8 feet above grade should be transparent glass.
- Storefront windows shall not be completely obscured with display cases or signage that prevents customers and pedestrians from seeing inside.
- Storefront windows should display products or services, local business logos, hours of operation, and/or public service messages. Displays in both retail and non-retail storefront windows that add color, texture, information, and/or visual activity to the pedestrian experience are encouraged.
- "Transparent" storefronts are not necessary for some businesses, such as professional offices. Nevertheless, even for such businesses it is preferable to maintain the size of original storefront windows. Proprietors can provide attractive window displays or install blinds. This solution contributes to the vitality of the streetscape and is more flexible for future changes than permanently blocking windows.

Signage

- Size limitations:

Wall signs – 10% of total façade area as defined herein.

Window signs – 20% of total window space.

- Signage shall provide information simply and legibly.
- All signs shall be made of durable materials.
- Primary signage shall be limited to advertising the name of a business, its phone number, its website, its logo and/or tagline. Primary signage shall not advertise national brand names/logos or goods and services.
- One effective way to advertise the type of business, products, hours of operation, even phone numbers is to run secondary signage along the base of the storefront window. This is much easier to change down the road.
- The number of signs per storefront shall be kept to a minimum. Limit signage to the number necessary to effectively communicate the business message. Too many signs in one storefront will detract from the overall appearance.
- Signs shall be of a size, location and design that do not obscure a building's important architectural details.
- Signage can employ colors and typefaces, which are designed to complement the unique character of a storefront, or they can be used creatively to add visual interest without altering a building's primary architectural style. Creativity in color and style is always encouraged.
- Flat wall signs installed above storefronts should form a clearly articulated sign band and be integrated into the overall façade design. Other locations and types of signs could be appropriate depending on the building design and the business owner's interests.
- Temporary signs, such as banners and paper signs in windows should be removed in a timely manner. The use of temporary signs that outlast the advertised sale or promotion is discouraged.
- When a building contains multiple storefronts housing different businesses, the signs should relate well to each other in terms of height, proportion, color and background value. Maintaining uniformity among these characteristics reinforces the building's façade composition while still retaining each business's identity.
- Projecting signs are allowed on a case-by-case basis and must be appropriate based on design and size of façade. Maximum size is six square feet.

Photographs of Recommended Types of Signage



Channel Lettering



Window Decal



Monumental Signage



Sand Blasted Signage



Wooden Signage



Pin Lettering Signage

Photographs of Recommended Types of Signage (cont.)



Channel Lettering and Back lighted Lettering (bottom)

Photographs of Prohibited Types of Signage



Cabinet Sign with lettering on white panel

Lettering must be a lighter color against a dark background, which makes the letters much easier to read and eliminates the glowing effect from the signage



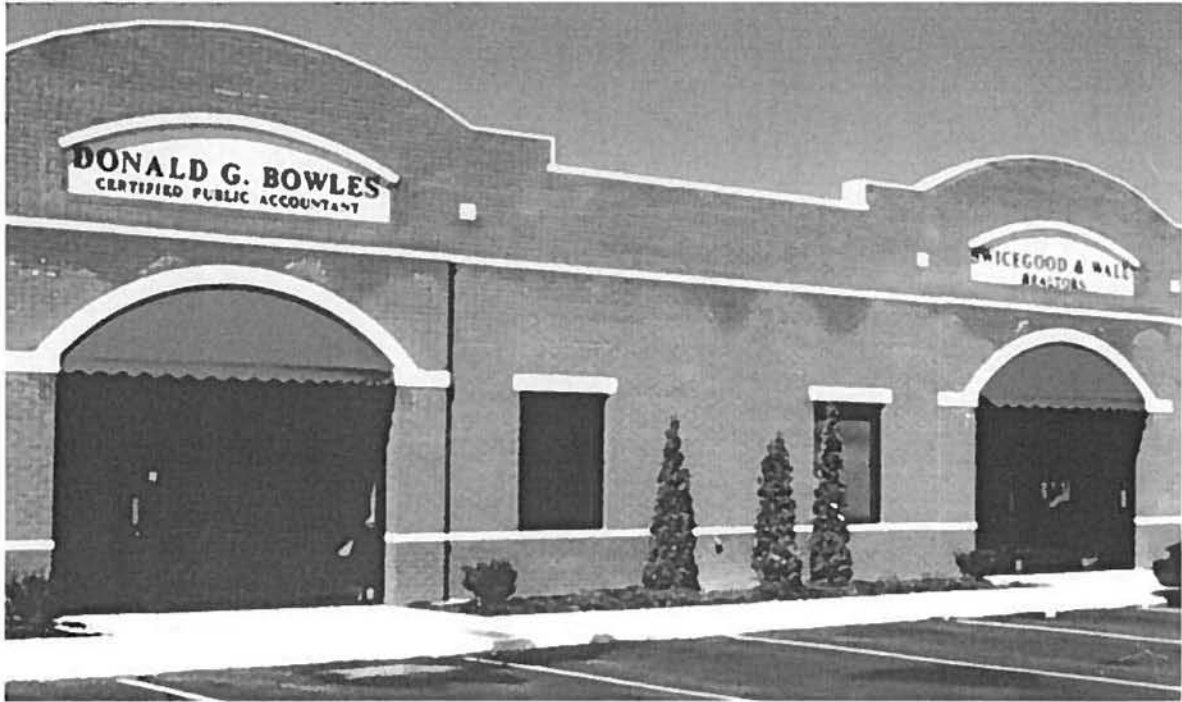
The amount of signage on these windows exceeds the 20% allowed to cover the windows

Awnings and Canopies

- Awnings and canopies provide another location for signage. They add color and interest to building storefronts and façades and can be used to emphasize display windows and entrances. They also serve to protect pedestrians and display windows from the sun and rain.
- Awnings and canopies consistent with local character and building type are encouraged.
- If the owner chooses to have a retractable awning, the awning must be in the fully up or down position.
- Awnings must reflect the overall façade organization and character of a building. Awnings must be located within the building elements that frame storefronts.
- Awnings, canopies or marquees shall not conceal important architectural details, such as masonry piers.
- Awnings on a multiple-storefront building shall be consistent in character, scale, location and color.
- Awning shapes must relate to the shape of the façade's architectural elements. The use of traditionally shaped awnings is encouraged, when appropriate. Creative or unusually shaped awnings should be designed with considerable care.
- Awning material must be made of 100% solution-dyed, fade-resistant acrylic fabric. Canvas and fire-resistant acrylic are preferred awning materials. The use of vinyl or plastic as awning materials is prohibited.
- The use of end panels will be reviewed on a case-by-case basis. When used, the material, color and pattern must be complementary to the awning.
- The color chosen for the awning must be complementary to the building colors. No fluorescent or neon colors are allowed.
- The lettering for the valance will be block lettering, any type of font with all capital letters.
- Any signage on the main body of the awning will be limited to the name of the business and the business' logo. No lettering describing business or products sold will be allowed on the awning.
- Lighting of the awning is allowed from above the awning with gooseneck down lighting. No up lighting underneath the awnings is allowed.
- All awnings shall have a maximum clearance of eight feet (8'-0").
- Maximum height will vary depending on the type of building and whether or not sign bands exist that are being maintained.
- Minimum projection of awnings should be forty-two inches (42").

Types and Shapes of Awnings

Photographs of Recommended Types of Awnings





Photographs of Prohibited Types of Awnings





Exterior Lighting

- Exterior lighting should highlight building elements, signs, or other distinctive features rather than attract attention to the light fixture itself. Lighting that attracts attention to itself, such as neon tubing surrounding display windows, are prohibited.
- The use of conduit piping to support exterior light fixtures is strictly prohibited.
- In order to maintain an attractive image, exterior building lighting should be appropriate to the building's architectural style.
- Building lighting should provide an even illumination level. City code prohibits flashing, pulsating, or similar dynamic lighting.
- Avoid lights that glare onto streets, public ways, or onto adjacent properties. Lighting such as metal halide, mercury and sodium vapor is prohibited.
- Provide indirect lighting whenever possible.
- The creative use of neon in individual circumstances is encouraged. Because these guidelines strive to promote a unique character for downtown Waukegan, the use of nationally distributed neon signs that promote brand name goods is discouraged.

FAÇADE RESTORATION

Painting

- Proposed repainting of woodwork, trims, cornices, windows and doors with a 25-year rated paint, proper surface preparation and color schemes may be submitted to the Design Committee for funding consideration.
- Proposed repainting of masonry work with a 25-year rated paint, proper surface preparation and color schemes may be submitted to the Design Committee for funding consideration.
- Painting of masonry work not previously painted shall not be allowed.
- Paint removal from existing masonry work may be submitted to the Design Committee for funding consideration.

Entry doors, windows, storefront

- Replacement of entry doors or windows in disrepair consistent with the current architectural theme of the building may be submitted to the Design Committee for funding consideration.
- Replacement of entry doors or windows inconsistent with the current architectural them of a building may be submitted to the Design Committee for funding consideration if part of a larger façade restoration/reconstruction project that is architecturally appropriate for the building.
- New or replacement of storm windows and/or screens are to be considered if part of the replacement project

- Storefront glass and associated components may be submitted to the Design Committee for funding consideration.

Cornice, woodwork, and trims

- Existing cornice, woodwork, time repair and restoration consistent with current building architectural theme maybe submitted to the Design Committee for funding consideration.
- Installation of new cornice, woodwork and trims consistent with current building architectural theme and utilizing historic photos for design may be submitted to the Design Committee for funding consideration.
- Installation of new cornice, woodwork and trims inconsistent with current building architectural theme maybe submitted to the Design Committee for funding consideration if part of a larger façade restoration/reconstruction that is architecturally appropriate for the building.

Masonry

- Repair of existing masonry including tuck-pointing of existing mortar joints and replacement of existing masonry components may be submitted to the Design Committee for funding consideration.
- New masonry construction including walls, cornices, posts consistent with current architectural them of the building may be submitted to the Design Committee for funding consideration.
- New masonry construction inconsistent with current architectural theme maybe submitted for funding consideration if part of a larger façade restoration or reconstruction project.

Concrete Repair

- Concrete entry ways, wainscot walls or other concrete components in disrepair and within a building property lines may be submitted to the Design Committee for funding consideration.

Decorative Wrought Iron

- Wrought iron utilized as window or door decoration, balconettes, or fencing may be submitted to the Design Committee for funding consideration as part of a larger façade restoration project that is appropriate for the building.

Landscaping

- Replacement of existing or adding new flower boxes, flower or tree planting urns, decorative bushes or trees for decorative fencing may be submitted to the Design Committee for funding consideration. Architectural and/or site design drawings must accompany this type of proposal for Design Committee consideration.

DEFINITIONS

Unless otherwise stated, the following terms shall, for the purpose of these guidelines, have the meaning indicated in this section. Words used in the present tense include the future. Words used in the masculine gender include the feminine and neuter. The singular number includes the plural and the plural the singular. Where terms are not defined herein, they shall have their ordinary accepted meanings or such as the context shall imply.

AWNING - is a structure, as of canvas, extended before a window, door, etc. as a protection from sun or rain.

BACKLIGHTED CHANNEL LETTERING - an illuminated channel letter (open or translucent back) configured so light from the letter is directed against the surface behind the letter producing a halo lighting effect around the letter.

CABINET SIGN - A lettered glass panel typically lit by florescent lighting behind.

CANOPY - A protective roof-like covering, often of canvas, mounted on a frame over a walkway or door.

CHANNEL LETTERING - Fabricated or formed three-dimensional lettering that may accommodate a light source.

FAÇADE - All window and wall area in the front plane or elevation of a building or storefront. In the case of a two-story building, only the first level shall be used in calculating the area for wall signage. If the façade is not a straight line, the façade shall be the lineal distance measured from corner to corner at grade level. See illustrations below.

GOOSENECK LIGHTING –Tubing curved like a goose’s neck with a lamp fixture on its tip providing indirect lighting.

MONUMENT SIGN - A sign that is permanently attached to or supported by the ground and where the base of said sign is no higher than two feet (2'-0") above grade. Characteristics of the monument sign would be a supporting base composed of brick, architecturally treated wood or other similar materials complimented by landscaping.

PRIMARY SIGNAGE - Information limited to advertising the name of a business, its logo and/or tagline. Primary signage shall not advertise national brand names/logos or goods and services.

SIGN BAND - The horizontal wall area immediately over the storefront and below the second floor line.

SECONDARY SIGNAGE – Supplementary information found at the bottom of the storefront window, typically in a smaller size font, containing information such as store hours, telephone number, items and brand names being sold by the business.

TAGLINE – A word or saying that expresses a business’s aims, ideals, or guiding principle; a slogan or motto.

**Frequently Asked Questions &
Applications
for the Sign, Lighting & Awning
Program (SLAP)
May 18, 2010**

BERWYN MAIN STREET USAGE GUIDELINES Sign Lighting and Awning Program

What is the Berwyn Main Street Sign, Lighting and Awning Program?

The program offers up to \$10,000 in granted funds to business and building owners in the Berwyn Main Street Program area in order to improve the appearance of individual buildings, as well as the overall look of the Cermak Road Corridor. Improvements must occur to areas visible from the public way. The goal of this program is to leverage private improvements while making revitalization efforts affordable, creative and community-based. A primary focus of this program is economic development and revitalization through financing improvements for small business: businesses with gross annual revenues of \$1million or less are eligible. Berwyn Main Street and the BMS design committee administer the Sign, Lighting and Awning Program (SLAP).

Who can apply for funding?

Any building owner or store proprietor/tenant with lease authority or authorization from the owner can apply for funding. Businesses must have gross annual revenue of \$1 million or less. The applicant must be a member of Berwyn Main Street. Applicants who are not currently members may join at the time of application submission. All grants are subject to available funding. The project site must be located in the Cermak Road Corridor. (See map of the Cermak Road TIF boundaries.) Tenants must have a minimum of two years remaining on their lease or an option to renew.

What types of improvements are eligible for funding?

Signs (new, repairs, replacements, removal)

Exterior lighting (new, repairs, replacements)

Awnings (new, repairs, replacements)

Façade Repair

- Painting
- Replacement of entry doors, windows, storefront
- Cornice, woodwork, and trims
- Masonry Repair and new construction
- Concrete Repair
- Decorative Wrought Iron

Landscaping

Are there any design guidelines?

Projects must meet the approval of the Design Committee of Berwyn Main Street. Berwyn Main Street can be consulted for design guidelines. Applicants are responsible for conforming to all relevant codes and ordinances.

How are the projects selected for funding?

Applications will be selected based on their compatibility with the vision and goals of the Berwyn Main Street and their impact on the district. Projects that are selected are expected to preserve and enhance the pedestrian environment, maintain the eclectic character of downtown Berwyn, respect the scale of

Berwyn's downtown, and to maintain the urban nature of the community. Preference will be given to projects that help to remedy inappropriate or incompatible design elements on the building façade.

How is the money awarded?

This is a grant program, which means that the applicant is awarded the funds upon approval of Berwyn Main Street. However, there is a maximum grant contribution by Berwyn Main Street of \$10,000 per project. Work completed prior to the letter of commitment is not eligible for funding.

Grant funds are disbursed on a reimbursement basis and cannot be issued until the proposed project has been completed. Before reimbursement is made, applicants will need to submit proof of payment for completed work. In addition, before payment will be issued, Berwyn Main Street Design Committee must review the completed project to determine that the actual work performed was the work approved.

How does the application process work?

Applicants should first meet with Berwyn Main Street staff and complete a preliminary application. This informal meeting will give the applicant the ability to describe, more fully, the proposed improvement. With the preliminary application, attach any information that will be helpful in the review of the proposal. Two color photos of the current building façade are required. Depending on the extent, priority and visibility of the work involved, Berwyn Main Street Design Committee may help locate design assistance for applicants in order to facilitate the development of a proposal.

When the Design Committee has reviewed the preliminary application, a determination will be made. If the preliminary application is accepted, qualified applicants will be asked to complete a full application, which includes architectural drawings (as applicable), sketches or renderings, color and material samples and two cost estimates. If the preliminary application is denied, the applicant will receive a letter explaining the reasons for its denial.

If the Design Committee approves the full application, the applicant will receive a letter of commitment from Berwyn Main Street for the specified amount with information on any other requirements. The applicant can then proceed with necessary permitting and city review processes. Funds will be released to the applicant upon completion of project, inspection of project.

If the Design Committee denies the full application, the applicant will receive a letter explaining the reasons for its denial. An application may be denied for many reasons ranging from incompatibility with the BMS Design Guidelines to lack of funding. Due to the limited funding available for this program, many good proposals may not be funded.

The entire application process takes approximately 8 weeks; the Design Committee works with applicants to minimize the turn-around time.

What happens after a project is selected for funding?

Work selected for a grant must be completed and invoiced within thirty (30)

day's of approval of the application. The applicant is responsible for obtaining all building permits and any other required permits for the work to be done. The applicant is responsible for conformance with all applicable safety standards and codes. The applicant also agrees to maintain the property and improvement in keeping with the original design and appearance for a minimum of two years following the completion of construction/installation. Berwyn Main Street may promote an approved project including, but not limited to, displaying a Berwyn Main Street sign at the site, during and after construction, and using photographs and descriptions of the project in Berwyn Main Street materials.

Note: Berwyn Main Street reserves the right to make changes in the conditions of the Sign, Lighting and Awning Program as warranted. The approval of any applicant is at the sole discretion of Berwyn Main Street and all decisions are final.

BERWYN MAIN STREET Steps to SLAP

The review process is expected to take 8 weeks.

1. Meet with Berwyn Main Street staff and complete a preliminary application;
2. Preliminary application is reviewed by Design Committee;
3. Preliminary application is accepted or denied. If accepted, applicant completes a full application;
4. Full application is reviewed by Design Committee;
5. Full application is accepted or denied. If accepted, a letter of commitment with the specified award amount will be sent to applicant;
6. Applicant is responsible for any permits and city review processes necessary for work to be completed;
7. Work completed must follow what was proposed in full application;
8. All work must be completed and invoiced within 6 months of the commitment letter.
9. Grant funds are disbursed on a reimbursement basis and cannot be issued until the proposed project has been completed and a paid invoice is submitted to Berwyn Main Street.

Remember, two copies of two recent color photographs of the building are required for the preliminary application.

To set up an appointment or have questions answered; please call Berwyn Main Street at 708/ 484-8000. The office is located at 7045 Cermak Rd Berwyn, IL 60402

**Berwyn Main Street
SLAP: Sign, Lighting and Awning Program
Preliminary Application
Required Information**

Name of the Applicant _____

Name of the Business _____

Address _____

Phone _____ Fax _____

E-Mail _____

Type of Applicant (circle one) property owner business owner other

How long has business
been at this address? _____

When does current
lease expire? _____

Property Owner's Name
(if different from applicant) _____

Property owner's address _____

Property owner's phone _____

Annual gross income
Under 1 Million (circle one) yes no

Optional Information Short description of proposed improvement (e.g., signs, lighting,
awnings, painting, etc.)

In addition, TWO copies of TWO current color photographs must be attached to this
application.

The application will not be reviewed without photographs. Digital images will only be
accepted if they are high resolution and show adequate detail.

Signature of applicant _____

Date _____

**Berwyn Main Street
SLAP: Sign, Lighting and Awning Program
Full Application
Required Information**

Name of the Applicant _____

Name of the Business _____

Address _____

Phone _____ Fax _____

E-Mail _____

Type of Applicant (circle one) property owner business owner other

How long has business
been at this address? _____

When does current
lease expire? _____

Property Owner's Name
(if different from applicant) _____

Property owner's address _____

Property owner's phone _____

Annual gross income
Under 1 Million (circle one) yes no

Note: if you are not the property own, please have the property owner or an authorized representative co-sign this application where indicated in the General Conditions.

**Berwyn Main Street
SLAP: Sign, Lighting and Awning Program
Full Application**

Proposed improvements

Please describe below the proposed improvement to the property.

Total proposed budget _____ Proposed start date _____ Estimated completion date _____

The following must accompany this application:

1. Two bids on contractor letterhead
2. Details of improvements
 - Dimensions (complete)
 - Placement on building
 - Colors
 - Materials
 - Drawings

The application will not be reviewed until these items are complete

Signature of applicant _____
date _____

If applicable:

I, as a Board Member of Berwyn Main Street, rescued myself from voting on this application.

Signature: _____ Date: _____

**Berwyn Main Street
SLAP: Sign, Lighting and Awning Program
Full Application**

General Conditions

It is expressly understood and agreed that the applicant is not an agent, servant, employee, or subcontractor of Berwyn Main Street.

It is expressly understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances, and other applicable regulations.

It is expressly understood and agreed that work completed prior to final approval is ineligible for funding.

It is expressly understood and agreed that the applicant will not seek to hold Berwyn Main Street and/or its agents, employees, officers and/or directors liable for any property damage, personal injury, or other loss relating in any way to the Sign, Lighting and Awning Program.

The applicant shall be responsible for maintaining valid and sufficient insurance coverage for property damage and personal injury liability relation to the Sign, Lighting and Awning Program.

The applicant agrees to maintain the property and improvements, including, but not limited to, promptly removing graffiti, sweeping and shoveling in front of the property.

The applicant agrees to return a pro-rated amount of the grant money received if the improvement is removed within two years.

The applicant authorizes Berwyn Main Street to promote an approved project, including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in BMS materials and other communications.

The applicant understands that Berwyn Main Street reserves the right to make changes in conditions of the Sign, Lighting and Awning Program as warranted. The approval of any applicant is at the sole discretion of Berwyn Main Street and all decisions are final.

Signature of applicant _____ date _____

If applicant is not the property owner, please have the property owner (or an authorized representative) review and co-sign this application below.

As owner of the property at _____ I have reviewed the above application and authorize operator of _____ at said address to perform the improvements described above as part of Berwyn Main Street's Sign, Lighting and Awning Program.

Signature of property owner or authorized representative Date

The City of Berwyn



Nicole L. Campbell
Traffic Engineer

A Century of Progress with Pride

June 8, 2010

To: Mayor Robert J. Lovero & City Council Members

From: Nicole Campbell, City Traffic Engineer

Re: City Speed Limits

Per the Illinois Vehicle Code, the speed limit for urban classified streets is 30 mph unless posted otherwise. Speed studies performed on the city's streets have indicated that a speed limit of 25 mph better suites the residential nature of these streets and can be followed by the majority of drivers. Therefore, based on my findings it is my recommendation that the speed limit for city-owned streets is changed from 30 mph to 25 mph, unless posted otherwise. I also recommend that the speed limit for 34th Street is changed from 20 mph to 25 mph, except in school zones. Since 34th Street is designed as a collector road, a speed limit that can be followed by the majority of drivers is more appealing and will hopefully discourage traffic from using residential streets.

Speed studies performed thus far in the Vacin Fairway have recorded that, on average, 85% of the traffic travels at 18.7 mph or below. Therefore, I recommend that the speed limit for the Vacin Fairway is 15 mph.

Section 460.08, Speed Regulations has been updated to incorporate the recommendations above. This section also includes speed limits previously approved by Council and a listing of State and County set speed limits for the streets within the city's limits.

Recommendation

It is my recommendation that the updated 460.08 Speed Regulations ordinance is approved, which includes the revisions described above.

Sincerely,

Nicole Campbell, Traffic Engineer

The City of Berwyn

J-b



Anthony T. Bertuca
City Attorney

A Century of Progress with Pride

June 8, 2010

To: Mayor Robert J. Lovero & City Council Members

From: Anthony Bertuca, City Attorney
Nicole Campbell, City Traffic Engineer

Re: Updated Speed Regulations Ordinance

Attached is an updated speed regulations ordinance that includes the city-wide speed limits as recommended by the traffic engineer, speed limits as posted and previously approved by Council, and the posted speed limits established by the State and/or County.

Recommendation

Staff recommends the approval of the attached ordinance and to authorize Public Works to purchase and install the signs necessary for these changes.

Sincerely,

Anthony T. Bertuca
Anthony T. Bertuca, City Attorney

Nicole Campbell
Nicole Campbell, Traffic Engineer

THE CITY OF BERWYN
COOK COUNTY, ILLINOIS

ORDINANCE
NUMBER

**AN ORDINANCE AMENDING CHAPTER 460.08 OF THE CODIFIED
ORDINANCES OF THE CITY OF BERWYN, COOK COUNTY, ILLINOIS
REGARDING SPEED REGULATIONS**

ROBERT J. LOVERO, Mayor
THOMAS J. PAVLIK, City Clerk

NONA N. CHAPMAN
JEFFREY G. BOYAJIAN
MARGARET PAUL
MICHELE D. SKRYD
CESAR A. SANTOY
THEODORE J. POLASHEK
RAFAEL AVILA
NORA LAURETO
Aldermen

ORDINANCE NO.: _____

**AN ORDINANCE AMENDING CHAPTER 460.08 OF THE CODIFIED ORDINANCES
OF THE CITY OF BERWYN, COOK COUNTY, ILLINOIS REGARDING SPEED
REGULATIONS**

WHEREAS, the City of Berwyn, Cook County, Illinois (the "City") is a home rule municipality pursuant to Section 6(a), Article VII of the 1970 Constitution of the State of Illinois, and as such may exercise any power and perform any function pertaining to its government and affairs (the "Home Rule Powers"); and

WHEREAS, the Mayor and the City Council of the City of Berwyn (the "Corporate Authorities") has adopted a Traffic Code, which has been amended from time to time; and

WHEREAS, the Corporate Authorities recognize that the statutory vehicular speed limits established by Section 5/11-601 of the Illinois Vehicle Code are greater than that considered reasonable for the roadways listed herein ; and

WHEREAS, the Corporate Authorities determine that it is in the best interests of the residents of the City to amend the Codified Ordinances as set forth below.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Berwyn, Cook County, Illinois, by and through its Home Rule Powers, as follows:

Section 1: That the above recitals and legislative findings are incorporated herein and made a part hereof, as if fully set forth in their entirety.

Section 2: Section 460.08 of the Codified Ordinances of the City of Berwyn, Cook County, Illinois is modified by striking Section 460.08 in its entirety and replacing it with the following:

460.08 SPEED REGULATIONS

Certain streets shall be designated at a rate of speed lower than the provisions as specified in the Illinois Vehicle Code (625 ILCS 5/11-601 et seq.). The rate of speed on the streets or parts of streets as described below shall be at the rate designated in this section, and it shall be unlawful for any person to drive a vehicle at a rate of speed greater than that designated.

(a) Fifteen (15) miles per hour

- (1) Vacin Fairway
- (2) All alleys within the city

(b) Twenty (20) miles per hour

- (1) Lombard Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (2) 26th Place from East Avenue to Ridgeland Avenue
- (3) 27th Street from East Avenue to Ridgeland Avenue
- (4) 27th Place from East Avenue to Ridgeland Avenue
- (5) 28th Street from East Avenue to Ridgeland Avenue
- (6) 28th Place from East Avenue to Ridgeland Avenue

(c) Twenty five (25) miles per hour

- (1) 13th Street from Harlem Avenue to Lombard Avenue
- (2) 14th Street from Harlem Avenue to Lombard Avenue
- (3) 15th Street from Harlem Avenue to Lombard Avenue
- (4) 16th Street from Harlem Avenue to Lombard Avenue
- (5) 18th Street from Harlem Avenue to Lombard Avenue
- (6) 19th Street from Harlem Avenue to Lombard Avenue
- (7) 21st Street from Harlem Avenue to Lombard Avenue
- (8) Cermak Road (22nd Street) from Harlem Avenue to Lombard Avenue

- (9) 23rd Street from Home Avenue to Oak Park Avenue and Euclid Avenue to Lombard Avenue
- (10) Riverside Drive from Harlem Avenue to Wesley Avenue
- (11) 24th Street from Home Avenue to Clinton Avenue and Oak Park Avenue to Lombard Avenue
- (12) 25th Street from Clinton Avenue to Lombard Avenue
- (13) 26th Street from Gunderson Avenue to Lombard Avenue
- (14) 27th Street from Riverside Drive to East Avenue and Ridgeland Avenue to Lombard Avenue
- (15) 28th Street from Maple Avenue to Wisconsin Avenue, Oak Park Avenue to East Avenue and Ridgeland Avenue to Lombard Avenue
- (16) 29th Street from Harlem Avenue to Kenilworth Avenue and Ridgeland Avenue to Lombard Avenue
- (17) 29th Place from Wisconsin Avenue to Oak Park Avenue
- (18) 30th Street from Harlem Avenue to Wisconsin Avenue and Home Avenue to East Avenue
- (19) 30th Place from Home Avenue to Oak Park Avenue
- (20) 31st Street from Harlem Avenue to Ridgeland Avenue
- (21) 32nd Street from Harlem Avenue to Oak Park Avenue and Gunderson Avenue to Lombard Avenue
- (22) Windsor Avenue from Harlem Avenue to Ridgeland Avenue
- (23) Stanley Avenue from Harlem Avenue to Ridgeland Avenue
- (24) Park Avenue from Ridgeland Avenue to Lombard Avenue
- (25) Fairfield Avenue from East Avenue to Ridgeland Avenue
- (26) 33rd Street from Euclid Avenue to Lombard Avenue
- (27) Sinclair Avenue from East Avenue to Ridgeland Avenue

- (28) 34th Street from Harlem Avenue to Ridgeland Avenue and Highland Avenue to Lombard Avenue
- (29) 35th Street from Harlem Avenue to Euclid Avenue and Ridgeland Avenue to Lombard Avenue
- (30) 36th Street from Harlem Avenue to Home Avenue and Wesley Avenue to Lombard Avenue
- (31) 37th Street from Home Avenue to Lombard Avenue
- (32) 38th Street from Harlem Avenue to Lombard Avenue
- (33) Maple Avenue from Roosevelt Road (12th Street) to Cermak Road (22nd Street) and Riverside Drive to Pershing Road (39th Street)
- (34) Wisconsin Avenue from Roosevelt Road (12th Street) to Cermak Road (22nd Street) and 28th Street to Pershing Road (39th Street)
- (35) Wenonah Avenue from Roosevelt Road (12th Street) to Cermak Road (22nd Street) and 28th Street to Pershing Road (39th Street)
- (36) Home Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (37) Clinton Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (38) Kenilworth Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (39) Grove Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (40) Oak Park Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (41) Euclid Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (42) Wesley Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (43) Clarence Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (44) East Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (45) Scoville Avenue from Roosevelt Road (12th Street) to 26th Street, 31st Street to Fairfield Avenue and Ogden Avenue to Pershing Road (39th Street)

- (46) Gunderson Avenue from Roosevelt Road (12th Street) to 26th Street and 31st Street to Pershing Road (39th Street)
- (47) Elmwood Avenue from Roosevelt Road (12th Street) to 26th Street, Windsor Avenue to 32nd Street and Ogden Avenue to Pershing Road (39th Street)
- (48) Ridgeland Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (49) Cuyler Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (50) Highland Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (51) Harvey Avenue from Roosevelt Road (12th Street) to Pershing Road (39th Street)
- (52) 26th Parkway from 26th Street to 27th Street
- (53) 26th Place from Home Avenue to 27th Street

The maximum speed limits for the streets listed below, were determined and posted by the regulating agency outside of the jurisdiction of the city, per the Illinois Vehicle Code (625 ILCS 5/11-601 et seq.) as adopted in Section 420.01. The speed limits are as follows:

(a) Thirty (30) miles per hour

- (1) Roosevelt Road (12th Street) from Harlem Avenue to Lombard Avenue
- (2) 26th Street from Harlem Avenue to Gunderson Avenue
- (3) Ogden Avenue from Harlem Avenue to Lombard Avenue
- (4) Pershing Road (39th Street) from Harlem Avenue to Lombard Avenue
- (5) Harlem Avenue from 32nd Street to Pershing Road (39th Street)

(b) Thirty five (35) miles per hour

- (1) Harlem Avenue from Roosevelt Road (12th Street) to 32nd Street

Section 3. All ordinances, resolutions, motions or orders in conflict with this Ordinance are hereby repealed to the extent of such conflict.

Section 4. This Ordinance shall be in full force and effect upon its passage, approval and publication as provided by law.

Adopted by the Mayor and City Council of the City of Berwyn, Cook County, Illinois this _____ day of _____ 2010, pursuant to a roll call vote as follows:

	YES	NO	ABSENT	PRESENT
Chapman				
Boyajian				
Paul				
Skryd				
Santoy				
Polashek				
Avila				
Laureto				
(Mayor Lovero)				
TOTAL				

Approved by the Mayor of the City of Berwyn, Cook County, Illinois on this _____ day of _____ 2010.

Robert J. Lovero
MAYOR

ATTEST:

Thomas J. Pavlik
CITY CLERK



Denis O'Halloran
Fire Chief

Frank Simek
Assistant Fire Chief

**BERWYN
FIRE DEPARTMENT**

6700 W. 26th Street • Berwyn, IL 60402-0701
708.788.2660 ext 3281
FAX 708.788.3039 • Emergency 9-1-1



Mayor Robert J. Lovero

June 4, 2010

To: Mayor Robert Lovero
Members of City Council

From: Fire Chief Denis O'Halloran

Re: Retirement announcement and request to contact the Fire & Police
Commissioners to promote two Lieutenants and replace the two firefighter
positions.

Honorable Mayor and Members of City Council,

I am in receipt of two letters from Lieutenant Bryan Davids, and Lieutenant Tony Laureto announcing their intention of retiring. Lt. Davids last day was on May 31, 2010. He is retiring with 31 years of service to the City of Berwyn. Lt. Tony Laureto last day will be on June 30, 2010. Lt. Laureto is retiring with 30 years and nine months of service to the City.

I am requesting permission to contact the Fire & Police Commissioners to begin the process of promotion for both positions and hiring the replacement firefighters to fill the positions. All positions are budgeted for and are replacement positions. Should you have any questions on this matter feel free to contact me.

Respectfully submitted,

Denis O'Halloran
Fire Chief.



K. Consent Agenda



Nona N. Chapman
1st Ward Alderman

A Century of Progress with Pride

6700 West 26th Street Berwyn, Illinois 60402-0701 Telephone: (708) 749-6401 Fax: (708) 788-2675
www.berwyn-il.gov

June 1, 2010

Mayor Robert J. Lovero
Members of the City Council
City of Berwyn

SUBJECT: Payroll May 26, 2010

Ladies and Gentlemen:

The current payroll has been prepared for review by the finance department and is ready for approval at the June 8, 2010 meeting.

Payroll: May 26, 2010 in the amount of \$826,328.61.

Respectfully Submitted,


Nona N. Chapman
Budget Committee Chairman



The City of Berwyn



Nona N. Chapman
1st Ward Alderman

A Century of Progress with Pride

6700 West 26th Street Berwyn, Illinois 60402-0701 Telephone: (708) 749-6401 Fax: (708) 788-2675
www.berwyn-il.gov

June 4, 2010

Mayor Robert J. Lovero
Members of the City Council
City of Berwyn

SUBJECT: Payables June 8, 2010 meeting

Ladies and Gentlemen:

The current payables were prepared for review by the finance department and are ready for approval at the June 8, 2010 meeting.

Total Payables: June 8, 2010 in the amount of \$926,615.02

Respectfully Submitted,

Nona N. Chapman
Budget Committee Chairman

CITY of BERWYN

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
01 - General Cash									
<u>Check</u>									
7445	05/27/2010	Open			Accounts Payable	American Cancer Society	\$100.00		
7446	05/27/2010	Open			Accounts Payable	H-O-H CHEMICALS,INC.	\$900.00		
7447	05/27/2010	Open			Accounts Payable	Matt Jiang	\$1,475.00		
7448	06/03/2010	Open			Accounts Payable	1st Source America	\$2,379.26		
7449	06/03/2010	Open			Accounts Payable	ABC Automotive Electronics	\$7,372.72		
7450	06/03/2010	Open			Accounts Payable	ABC Commercial Maintenance Services,Inc.	\$8,393.00		
7451	06/03/2010	Open			Accounts Payable	ADT SECURITY SERVICES	\$443.32		
7452	06/03/2010	Open			Accounts Payable	Alfredo Murillo	\$1,475.00		
7453	06/03/2010	Open			Accounts Payable	ALL AMERICAN EXTERIOR SOLUTIONS	\$450.00		
7454	06/03/2010	Open			Accounts Payable	All Star Roofing Inc.	\$5,800.00		
7455	06/03/2010	Open			Accounts Payable	AmAudit	\$188.80		
7456	06/03/2010	Open			Accounts Payable	AMAZON.COM	\$551.49		
7457	06/03/2010	Open			Accounts Payable	AMERICAN MESSAGING	\$128.11		
7458	06/03/2010	Open			Accounts Payable	ANIMAL WELFARE LEAGUE	\$62.25		
7459	06/03/2010	Open			Accounts Payable	Antonio Montiel	\$40.00		
7460	06/03/2010	Open			Accounts Payable	Aqua Chill of Chicago # 22	\$140.00		
7461	06/03/2010	Open			Accounts Payable	AT & T Global Services, Inc.	\$1,572.42		
7462	06/03/2010	Open			Accounts Payable	AT&T	\$13,659.06		
7463	06/03/2010	Open			Accounts Payable	AVAYA INC.	\$80.30		
7464	06/03/2010	Open			Accounts Payable	AWESOME Pest Service	\$725.00		

CITY of BERWYN

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
7465	06/03/2010	Open			Accounts Payable	B. DAVIDS LANDSCAPING	\$1,595.00		
7466	06/03/2010	Open			Accounts Payable	BAKER & TAYLOR	\$838.13		
7467	06/03/2010	Open			Accounts Payable	Baker & Taylor, Inc.	\$51.71		
7468	06/03/2010	Open			Accounts Payable	BANC OF AMERICA PUB CAPTL CORP	\$5,512.68		
7469	06/03/2010	Open			Accounts Payable	BARNES & NOBLE	\$151.98		
7470	06/03/2010	Open			Accounts Payable	BBC AUDIOBOOKS AMERICA	\$458.07		
7471	06/03/2010	Open			Accounts Payable	Becky Spratford	\$7.15		
7472	06/03/2010	Open			Accounts Payable	BERWYN DEVELOPMENT CORP	\$105,325.00		
7473	06/03/2010	Open			Accounts Payable	BERWYN WESTERN PLBG. & HEATING	\$3,785.30		
7474	06/03/2010	Open			Accounts Payable	BRIAN MADDEN	\$605.00		
7475	06/03/2010	Open			Accounts Payable	Brian Pabst	\$38.86		
7476	06/03/2010	Open			Accounts Payable	CDW GOVERNMENT, INC.	\$1,061.88		
7477	06/03/2010	Open			Accounts Payable	Ceda of Cook County	\$40,501.72		
7478	06/03/2010	Open			Accounts Payable	CHRISTINA SPADA	\$50.00		
7479	06/03/2010	Open			Accounts Payable	CICERO FIRE ACADEMY	\$90.00		
7480	06/03/2010	Open			Accounts Payable	CITADEL	\$111.00		
7481	06/03/2010	Open			Accounts Payable	COMCAST CABLE	\$127.30		
7482	06/03/2010	Open			Accounts Payable	ComEd	\$1,206.55		
7483	06/03/2010	Open			Accounts Payable	ComEd	\$25,448.59		
7484	06/03/2010	Open			Accounts Payable	COMMUNICATION REVOLVING FUND	\$439.15		
7485	06/03/2010	Open			Accounts Payable	Crime Analysts of Illinois Association, Inc.	\$100.00		
7486	06/03/2010	Open			Accounts Payable	Cynthia & Luis Arias	\$1,475.00		

CITY of BERWYN

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
7487	06/03/2010	Open			Accounts Payable	CYNTHIA MONTAVON	\$310.68		
7488	06/03/2010	Open			Accounts Payable	DATACOM	\$998.00		
7489	06/03/2010	Open			Accounts Payable	Del Galdo Law Group,LLC	\$41,077.90		
7490	06/03/2010	Open			Accounts Payable	Dell Marketing, LP	\$2,366.62		
7491	06/03/2010	Open			Accounts Payable	Diamond Graphics, Inc.	\$1,478.77		
7492	06/03/2010	Open			Accounts Payable	Elzbieta Zmudzki	\$1,475.00		
7493	06/03/2010	Open			Accounts Payable	EMSAR,INC	\$235.26		
7494	06/03/2010	Open			Accounts Payable	F.I.R.E. PERSONNEL TESTING SERVICE	\$425.00		
7495	06/03/2010	Open			Accounts Payable	FEDERAL EXPRESS CORPORATION	\$43.17		
7496	06/03/2010	Open			Accounts Payable	Felco Vending, Inc.	\$261.00		
7497	06/03/2010	Open			Accounts Payable	FLASH ELECTRIC CO.	\$1,815.00		
7498	06/03/2010	Open			Accounts Payable	FMP	\$429.89		
7499	06/03/2010	Open			Accounts Payable	FORUM TITLE INSURANCE CO.	\$212.75		
7500	06/03/2010	Open			Accounts Payable	FRANK NOVOTNY & ASSC.	\$8,662.01		
7501	06/03/2010	Open			Accounts Payable	FULLMER LOCKSMITH SERVICE INC	\$55.00		
7502	06/03/2010	Open			Accounts Payable	Gabriel Auto Parts	\$226.84		
7503	06/03/2010	Open			Accounts Payable	GAYLORD BROS INC	\$315.97		
7504	06/03/2010	Open			Accounts Payable	Goldstine,Skrodzki,Russian,Nemec & Hoff,LTD.	\$8,154.96		
7505	06/03/2010	Open			Accounts Payable	GRAINGER	\$290.08		
7506	06/03/2010	Open			Accounts Payable	H J MOHR & SONS CO	\$891.78		
7507	06/03/2010	Open			Accounts Payable	H-O-H CHEMICALS,INC.	\$900.00		
7508	06/03/2010	Open			Accounts Payable	HARTIGAN & O'CONNOR P.C.	\$10,779.15		

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
7509	06/03/2010	Open			Accounts Payable	HD SUPPLY WATERWORKS,LTD	\$12,378.45		
7510	06/03/2010	Open			Accounts Payable	Herbert Gavarrete	\$142.50		
7511	06/03/2010	Open			Accounts Payable	HOME DEPOT CREDIT SERVICES	\$94.37		
7512	06/03/2010	Open			Accounts Payable	HORIZON SCREENING	\$3,502.75		
7513	06/03/2010	Open			Accounts Payable	INGRAM LIBRARY SERVICES	\$2,141.93		
7514	06/03/2010	Open			Accounts Payable	INTERSTATE BATTERY SYSTEM OF CENTRAL CHGO.	\$139.93		
7515	06/03/2010	Open			Accounts Payable	JACK PHELAN CHEVROLET	\$171.56		
7516	06/03/2010	Open			Accounts Payable	JACK'S RENTAL INC	\$576.19		
7517	06/03/2010	Open			Accounts Payable	JAKE THE STRIPER	\$1,750.00		
7518	06/03/2010	Open			Accounts Payable	James C. Zitzer	\$2,250.00		
7519	06/03/2010	Open			Accounts Payable	JAMES DUNCAN & ASSOCIATES,INC.	\$481.74		
7520	06/03/2010	Open			Accounts Payable	Jim Frank	\$59.95		
7521	06/03/2010	Open			Accounts Payable	JOHNSON,ROBERTS, & ASSOCIATES	\$75.36		
7522	06/03/2010	Open			Accounts Payable	Julian J. Lazzara	\$510.00		
7523	06/03/2010	Open			Accounts Payable	JYNETTE AYALA	\$12.24		
7524	06/03/2010	Open			Accounts Payable	K's Construction	\$9,136.00		
7525	06/03/2010	Open			Accounts Payable	KAREN FISHELLA & ASSOCIATES	\$333.50		
7526	06/03/2010	Open			Accounts Payable	KB LAWN AND MULCH	\$1,290.00		
7527	06/03/2010	Open			Accounts Payable	L-K FIRE EXTINGUISHER SERVICE	\$883.40		
7528	06/03/2010	Open			Accounts Payable	LANDMARK AUDIOBOOKS	\$42.30		
7529	06/03/2010	Open			Accounts Payable	Laner Muchin Dombrow Becker Levin & Tech, Ltd	\$8,542.26		
7530	06/03/2010	Open			Accounts Payable	LEARNING EXPRESS,LLC	\$1,155.00		

CITY of BERWYN

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
7531	06/03/2010	Open			Accounts Payable	LITTLE VILLAGE PRINTING	\$1,017.25		
7532	06/03/2010	Open			Accounts Payable	M. K. SPORTS	\$1,410.00		
7533	06/03/2010	Open			Accounts Payable	M.C. DRYWALL FINISHERS,INC., ED MIJANGOS	\$525.00		
7534	06/03/2010	Open			Accounts Payable	MARIA E.MOLINA	\$1,475.00		
7535	06/03/2010	Open			Accounts Payable	Maria Ruiz	\$110.00		
7536	06/03/2010	Open			Accounts Payable	Marissa Garcia	\$120.23		
7537	06/03/2010	Open			Accounts Payable	MARLIN LEASING	\$229.28		
7538	06/03/2010	Open			Accounts Payable	Martin Hasler	\$1,478.74		
7539	06/03/2010	Open			Accounts Payable	McCANN INDUSTRIES,INC.	\$278.20		
7540	06/03/2010	Open			Accounts Payable	McDONALD MODULAR SOLUTIONS,INC.	\$190.00		
7541	06/03/2010	Open			Accounts Payable	McDONOUGH MECHANICAL SERVICES,INC.	\$179.29		
7542	06/03/2010	Open			Accounts Payable	MEDICAL REIMBURSEMENT SERVICES,INC.	\$4,960.00		
7543	06/03/2010	Open			Accounts Payable	MEDTECH WRISTBANDS USA INC.	\$277.90		
7544	06/03/2010	Open			Accounts Payable	MEILAHN MANUFACTURING CO.	\$969.00		
7545	06/03/2010	Open			Accounts Payable	MENARDS	\$356.75		
7546	06/03/2010	Open			Accounts Payable	Micro Center A/R	\$871.78		
7547	06/03/2010	Open			Accounts Payable	MICRO MARKETING,LLC	\$508.07		
7548	06/03/2010	Open			Accounts Payable	MID-TOWN PETROLEUM,INC.	\$1,677.23		
7549	06/03/2010	Open			Accounts Payable	MIDWEST TAPE	\$318.88		
7550	06/03/2010	Open			Accounts Payable	MIDWEST TIME RECORDER INC	\$115.00		
7551	06/03/2010	Open			Accounts Payable	MRA	\$24,244.00		
7552	06/03/2010	Open			Accounts Payable	NATIONAL SEED	\$150.00		

CITY of BERWYN

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
7553	06/03/2010	Open			Accounts Payable	NAVIANT	\$209.11		
7554	06/03/2010	Open			Accounts Payable	NEWSBANK INC	\$15,405.00		
7555	06/03/2010	Open			Accounts Payable	NEXTEL COMMUNICATIONS	\$1,032.27		
7556	06/03/2010	Open			Accounts Payable	NORA LAURETO	\$419.14		
7557	06/03/2010	Open			Accounts Payable	NORTHEAST MULTI REGIONAL TRAINING	\$100.00		
7558	06/03/2010	Open			Accounts Payable	NORTHWESTERN UNIVERSITY CENTER	\$22.00		
7559	06/03/2010	Open			Accounts Payable	OFFICE DEPOT	\$351.31		
7560	06/03/2010	Open			Accounts Payable	OFFICE EQUIPMENT SALES	\$465.90		
7561	06/03/2010	Open			Accounts Payable	ORIENTAL TRADING CO.	\$106.87		
7562	06/03/2010	Open			Accounts Payable	ORKIN PEST CONTROL	\$6.03		
7563	06/03/2010	Open			Accounts Payable	Patricia Lyle	\$75.00		
7564	06/03/2010	Open			Accounts Payable	Patrick N.Murray	\$2,012.50		
7565	06/03/2010	Open			Accounts Payable	PAUL GARDNER	\$605.00		
7566	06/03/2010	Open			Accounts Payable	PHELAN DODGE	\$1,283.01		
7567	06/03/2010	Open			Accounts Payable	PHS LOCKSMITH	\$85.00		
7568	06/03/2010	Open			Accounts Payable	PINNER ELECTRIC CO	\$24,168.33		
7569	06/03/2010	Open			Accounts Payable	POETRY	\$17.50		
7570	06/03/2010	Open			Accounts Payable	PPIP	\$50.00		
7571	06/03/2010	Open			Accounts Payable	QUARRY MATERIALS,INC.	\$129.92		
7572	06/03/2010	Open			Accounts Payable	RAINCOAT ROOF MAINTENANCE INC.	\$3,155.00		
7573	06/03/2010	Open			Accounts Payable	RANDOM HOUSE,INC.	\$93.75		
7574	06/03/2010	Open			Accounts Payable	RECORDED BOOKS,LLC	\$256.60		
7575	06/03/2010	Open			Accounts Payable	Regina M. Ferrera	\$1,475.00		

CITY of BERWYN

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
7576	06/03/2010	Open			Accounts Payable	RESEARCH TECHNOLOGY INT'L	\$511.98		
7577	06/03/2010	Open			Accounts Payable	RESTORE BOARD-UP	\$16,694.00		
7578	06/03/2010	Open			Accounts Payable	RICOH AMERICAS CORPORATION	\$2,124.00		
7579	06/03/2010	Open			Accounts Payable	RIZZA FORD	\$2,441.05		
7580	06/03/2010	Open			Accounts Payable	Robert Cottle	\$400.00		
7581	06/03/2010	Open			Accounts Payable	ROSCOE COMPANY	\$1,182.69		
7582	06/03/2010	Open			Accounts Payable	S-P-D- INCORPORATED	\$7,983.42		
7583	06/03/2010	Open			Accounts Payable	Salvador L. Gamino	\$4,433.09		
7584	06/03/2010	Open			Accounts Payable	SAM'S CLUB	\$551.54		
7585	06/03/2010	Open			Accounts Payable	SAM'S CLUB	\$656.53		
7586	06/03/2010	Open			Accounts Payable	Samantha Michelli	\$75.00		
7587	06/03/2010	Open			Accounts Payable	SEGUIN SERVICES,INC.	\$12,500.00		
7588	06/03/2010	Open			Accounts Payable	SHARON LORENZI	\$7.00		
7589	06/03/2010	Open			Accounts Payable	SHERWIN WILLIAMS	\$61.45		
7590	06/03/2010	Open			Accounts Payable	Showcases	\$75.38		
7591	06/03/2010	Open			Accounts Payable	Signmart	\$78.45		
7592	06/03/2010	Open			Accounts Payable	SIRCHIE FINGER PRINT LABORATORIES	\$223.96		
7593	06/03/2010	Open			Accounts Payable	SOUTHWEST UNITED FIRE DISTRICTS	\$495.00		
7594	06/03/2010	Open			Accounts Payable	SPRINT	\$342.39		
7595	06/03/2010	Open			Accounts Payable	STORINO,RAMELLO & DURKIN	\$15,846.09		
7596	06/03/2010	Open			Accounts Payable	Strictly Sewers	\$6,600.00		
7597	06/03/2010	Open			Accounts Payable	SUBURBAN DOOR CHECK & LOCK SERVICE	\$139.00		
7598	06/03/2010	Open			Accounts Payable	SUBURBAN LABORATORIES,INC.	\$332.00		

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
7599	06/03/2010	Open			Accounts Payable	Tanknology, Inc.	\$622.60		
7600	06/03/2010	Open			Accounts Payable	TELE-TRON ACE HARDWARE	\$64.91		
7601	06/03/2010	Open			Accounts Payable	TELE-TRON ACE HARDWARE	\$106.86		
7602	06/03/2010	Open			Accounts Payable	THE GALE GROUP	\$1,776.75		
7603	06/03/2010	Open			Accounts Payable	THE LIBRARY STORE	\$961.69		
7604	06/03/2010	Open			Accounts Payable	The Lifeguard Store, Inc.	\$696.00		
7605	06/03/2010	Open			Accounts Payable	The Mark News	\$200.00		
7606	06/03/2010	Open			Accounts Payable	Tom Czajka	\$150.00		
7607	06/03/2010	Open			Accounts Payable	TRUCKPRO, INC.	\$263.21		
7608	06/03/2010	Open			Accounts Payable	TRYAD AUTOMOTIVE	\$1,800.40		
7609	06/03/2010	Open			Accounts Payable	Twin Supplies	\$1,208.92		
7610	06/03/2010	Open			Accounts Payable	U.S. Cellular	\$171.42		
7611	06/03/2010	Open			Accounts Payable	UNITED PARCEL SERVICE	\$36.67		
7612	06/03/2010	Open			Accounts Payable	UNITED RADIO COMM, INC	\$241.46		
7613	06/03/2010	Open			Accounts Payable	UPSTART INC	\$264.75		
7614	06/03/2010	Open			Accounts Payable	US GAS	\$137.60		
7615	06/03/2010	Open			Accounts Payable	USEDPHONES.COM	\$837.00		
7616	06/03/2010	Open			Accounts Payable	VERIZON WIRELESS	\$65.00		
7617	06/03/2010	Open			Accounts Payable	VERSATILE COMPUTER SERVICES	\$380.00		
7618	06/03/2010	Open			Accounts Payable	VOLTEXX, INC.	\$512.19		
7619	06/03/2010	Open			Accounts Payable	WALGREENS CO.	\$47.96		
7620	06/03/2010	Open			Accounts Payable	Warehouse Direct	\$355.76		
7621	06/03/2010	Open			Accounts Payable	WASTE MANMAGEMENT ILLINOIS- METRO	\$332,357.13		

Payment Register

From Payment Date: 6/4/2009 - To Payment Date: 6/3/2010

Number	Date	Status	Void Reason	Reconciled/ Voided Date	Source	Payee Name	Transaction Amount	Reconciled Amount	Difference
7622	06/03/2010	Open			Accounts Payable	WATER ONE	\$34.50		
7623	06/03/2010	Open			Accounts Payable	WEST SUBURBAN PADS	\$15,198.01		
7624	06/03/2010	Open			Accounts Payable	WESTERN REMAC INC.	\$19,431.00		
7625	06/03/2010	Open			Accounts Payable	WORLD FUEL SERVICES	\$613.24		
7626	06/03/2010	Open			Accounts Payable	ZEE MEDICAL, INC.	\$949.87		
7627	06/03/2010	Open			Accounts Payable	ZOLL MEDICAL CORPORATION	\$18,400.20		
Type Check Totals:					183 Transactions		\$926,615.02		

01 - General Cash Totals

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	183	\$926,615.02	
	Total	183	\$926,615.02	\$0.00
All	Status	Count	Transaction Amount	Reconciled Amount
	Open	183	\$926,615.02	
	Total	183	\$926,615.02	\$0.00

Grand Totals:

Checks	Status	Count	Transaction Amount	Reconciled Amount
	Open	183	\$926,615.02	
	Total	183	\$926,615.02	\$0.00
All	Status	Count	Transaction Amount	Reconciled Amount
	Open	183	\$926,615.02	
	Total	183	\$926,615.02	\$0.00

K-3
The City of Berwyn



Robert J. Lovero
Mayor

A Century of Progress with Pride

6700 West 26th Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-2567
www.berwyn-il.gov

June 01, 2010

Members of the City Council


Re: Notification of Written Orders Entered at the
Conclusion of a Liquor License Hearing Proceeding

Council Members:

Pursuant to the requirement of Section 804.21 (b) (6) of the Berwyn Codified Ordinances, below you will find orders entered in the following liquor license hearing proceedings:

<u>Case</u>	<u>Licensee</u>	<u>Location</u>	<u>Fine</u>
10-L-04	Skyline Café/ Jungle Joes	6814 Windsor Ave.	60 Day Warning Period Supervision

Respectfully,


Robert J. Lovero
Mayor

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Robert J. Lovero
Mayor



A Century of Progress with Pride

6700 West 26th Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-2675
www.berwyn-il.gov

THOMAS J. PAVLIK
CITY CLERK

Date: MAY 25, 2010

Mayor Lovero & Members
Of the Berwyn City Council

Re: Block Party 2900 block of MAPLE AVE

Honorable Mayor Lovero & Members of City Council:

Attached, please find a petition for a block party on the 2900 block
of MAPLE AVE.

The residents request permission to hold the event on JULY 4, 2010

With a rain date of JULY 5, 2010. We are aware of the ordinance
regarding block parties and will abide by all of them.

Thank you for your consideration.

Yours truly,

[Signature]

Contact person is: PAUL STOROZYNSKI

Address is: _____

Phone number is: _____

PLEASE RETURN 3-4 WEEKS PRIOR TO DATE REQUESTED

WE THE UNDERSIGNED RESIDENTS OF THE 2900 BLOCK OF MAPLE
 DO HEREBY REQUEST PERMISSION TO CONDUCT A BLOCK PARTY ON JULY 4 2010
 BETWEEN THE HOURS OF 9 AM AND 9 PM, OUR RAIN DATE IS JULY 5, 2010
 ALL REFUSE MUST BE PLACED IN PROPER CONTAINERS FOR PICKUP BY CLEARING DISPOSAL**

NAME ADDRESS

2931 MAPLE
 2933 MAPLE -
 2933 MAPLE
 2927 Maple
 2927 Maple
 2941 MAPLE AV
 2941 S Maple Ave
 2942 S MAPLE AVE
 2942 S MAPLE AVE
 2931 Maple
 2937 S. MAPLE AV.
 2937 S. Maple Av.
 2943 S. Maple ave Berwyn Ill 60402
 2943 S Maple ave Berwyn, Ill 60402
 2932 Maple, Berwyn 60402
 2934 MAPLE BERWYN 60402
 2938 MAPLE AVE
 2914 S MAPLE AVE BERWYN
 2908 MAPLE
 2917 MAPLE BERWYN
 2917 S Maple Berwyn

Robert J. Lovero
Mayor

K S



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www.berwyn-il.gov

CITY OF BERWYN
CLERK'S OFFICE

2010 MAY 21 P 4: 05

THOMAS J. PAVLIK
CITY CLERK

Date: 5-21-10

Mayor Lovero & Members
Of the Berwyn City Council

Re: Block Party 24TH block of Secville Ave

Honorable Mayor Lovero & Members of Council:

Attached, please find a petition for a block party on the 24TH block
of S Secville Ave.

The residents request permission to hold the event on July 24, 2010

With a rain date of Aug 7 2010. We are aware of the ordinance
regarding block parties and will abide by all of them.

Thank you for your consideration.

Yours truly,

Michael Lopez

Contact person is: Michael Lopez

Address is: _____

Phone number is: _____

****PLEASE RETURN 3-4 WEEKS PRIOR TO DATE REQUESTED****

WE THE UNDERSIGNED RESIDENTS OF THE 24TH BLOCK OF SCOVILLE AVE,
 DO HEREBY REQUEST PERMISSION TO CONDUCT A BLOCK PARTY ON JULY 24TH 2010
 BETWEEN THE HOURS OF 9am AND 9pm, OUR RAIN DATE IS AUG 7 2010
 ALL REFUSE MUST BE PLACED IN PROPER CONTAINERS FOR PICKUP BY CLEARING DISPOSAL**

NAMF

ADDRESS

2102 Scoville
 2404 Scoville
 2428 Scoville *Renwick*
 2408 Scoville
 2416 Scoville *Dr. [unclear]*
 2430 Scoville *Quanta [unclear]*
 2424 Scoville
 2430 Scoville
 2426 SCOVILLE
 2445 Scoville
 2439 Scoville
 2443 Scoville
 2429 S Scoville
 2425 S Scoville
 2421 Scoville
 2415 Scoville
 2403 S Scoville
 2401 Scoville Ave
 2413 Scoville Ave
 2409 Scoville Ave
 2400 Scoville Ave

Kb

Robert J. Lovero
Mayor



A Century of Progress with Pride

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www.berwyn-il.gov

THOMAS J. PAVLIK
CITY CLERK

Date: 5/24/10

Mayor Lovero & Members
Of the Berwyn City Council

Re: Block Party CLINTON block of 1600 Block

Honorable Mayor Lovero & Members of City Council:

Attached, please find a petition for a block party on the 1600 block
of CLINTON.

The residents request permission to hold the event on JUNE 12, 2010

With a rain date of JUNE 26, 2010. We are aware of the ordinance
regarding block parties and will abide by all of them.

Thank you for your consideration.

Yours truly,

VICTOR GONZALEZ ~~President~~

Contact person is: Ramiro Pelayo

Address is: _____

Phone number is: _____

PLEASE RETURN 3-4 WEEKS PRIOR TO DATE REQUESTED

WE THE UNDERSIGNED RESIDENTS OF THE 1600 BLOCK OF Clinton
 DO HEREBY REQUEST PERMISSION TO CONDUCT A BLOCK PARTY ON JUNE 12, 2010
 BETWEEN THE HOURS OF 8 Am AND 9 pm, OUR RAIN DATE IS JUNE 26, 2010
 ALL REFUSE MUST BE PLACED IN PROPER CONTAINERS FOR PICKUP BY CLEARING DISPOSAL**

NAME	ADDRESS	Tell.
	1613 Clinton	
	1625 Clinton	71
	6924 16th St.	
	6928 W-10th St	
	1617 Clinton St.	
	1619 Clinton St.	
	1623 Clinton	
	1627 Clinton	
	1629 S Clinton	
	1631 S Clinton	
	1639 Clinton Clinton	
	1647 Clinton Ave	
	1647 Clinton Ave	
	1648 Clinton Ave	
	1646 Clinton Ave	
	1640 Clinton Ave	
	1632 Clinton Ave	
	1630 Clinton	
	1628 Clinton	
	1610 Clinton Ave	
	1626 S Clinton	
	1636 CLINTON	

Robert J. Lovero
Mayor



A Century of Progress with Pride

6700 West 26th Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2660 Fax: (708) 788-2675
www.berwyn-il.gov

THOMAS J. PAVLIK
CITY CLERK

Date: 06-02-10

Mayor Lovero & Members
Of the Berwyn City Council

Re: Block Party 3600 block of Cuyler Ave

Honorable Mayor Lovero & Members of City Council:

Attached, please find a petition for a block party on the 3600 block
of Cuyler Ave.

The residents request permission to hold the event on June 19th

With a rain date of June 26. We are aware of the ordinance
regarding block parties and will abide by all of them.

Thank you for your consideration.

Yours truly,

Herlinda Suarez

Contact person is: Al Suarez

Address is: _____

Phone number is: _____

****PLEASE RETURN 3-4 WEEKS PRIOR TO DATE REQUESTED****

4

WE THE UNDERSIGNED RESIDENTS OF THE 3600 BLOCK OF Cuyler Ave
 DO HEREBY REQUEST PERMISSION TO CONDUCT A BLOCK PARTY ON June 19, 2010
 BETWEEN THE HOURS OF 8am AND 9pm, OUR RAIN DATE IS June 26, 2010
 ALL REFUSE MUST BE PLACED IN PROPER CONTAINERS FOR PICKUP BY CLEARING DISPOSAL**

ADDRESS

- 3639 S. Cuyler
- 3642 S Cuyler
- 3626 Cuyler
- 3628 Cuyler
- 3644 Cuyler
- 3646 Cuyler
- 3643 S
- 3641 S. Cuyler
- 3633 Cuyler
- 3631 Cuyler
- 3635 Cuyler
- 3627 Cuyler
- 3623 CUYLER
- 3615 Cuyler
- 3609 Cuyler
- 3601 Cuyler
- 3607 CUYLER, 3604.
- 3606 Cuyler
- 3608 Cuyler
- 3624 Cuyler AVE.
- 3638 Cuyler
- 3605 Cuyler
- 3603 Cuyler
- 3600 Cuyler
- 3616 Cuyler

Robert J. Lovero
Mayor



A Century of Progress with Pride

8700 West 26th Street Berwyn, Illinois 60402-0701 Telephone: (708) 788-2860 Fax: (708) 788-2875
www.berwyn-il.gov

THOMAS J. PAVLIK
CITY CLERK

Date: 6/2/10

Mayor Lovero & Members
Of the Berwyn City Council

Re: Block Party 1900 block of Harvey

Honorable Mayor Lovero & Members of City Council:

Attached, please find a petition for a block party on the 1900 block
Of Harvey.

The residents request permission to hold the event on June 26, 2010

With a rain date of July 3. We are aware of the ordinance
regarding block parties and will abide by all of them.

Thank you for your consideration.

Yours truly,

Maria Beltran

Contact person is: Maria Beltran

Address is: _____

Phone number is: _____

****PLEASE RETURN 3-4 WEEKS PRIOR TO DATE REQUESTED****

WE THE UNDERSIGNED RESIDENTS OF THE 1900 BLOCK OF HARVEY AVE
 DO HEREBY REQUEST PERMISSION TO CONDUCT A BLOCK PARTY ON JUNE 26, 2010
 BETWEEN THE HOURS OF 12 AND 9:00 PM, OUR RAIN DATE IS JULY 3, 2010
 ALL REFUSE MUST BE PLACED IN PROPER CONTAINERS FOR PICKUP BY CLEARING DISPOSAL**

NAME ADDRESS

- 1792 HARVEY
- 1931 HARVEY
- 1929 HARVEY
- 1927 HARVEY
- 1927 S HARVEY
- 1913 S HARVEY
- 1909 S HARVEY
- 1901 S HARVEY
- 1901 S HARVEY
- 1400 S HARVEY
- 1908 S HARVEY
- S 1916 HARVEY
- 1918 HARVEY
- S 1918 S HARVEY
- 1920 S HARVEY
- 1922 S HARVEY AVE
- 1920 S HARVEY AVE
- 1932 S HARVEY AVE
- 1934 S HARVEY AVE
- 1934 S HARVEY AVE
- 1934 S HARVEY 2nd
- Basement 1934 HARVEY
- 1934 HARVEY
- 1999 HARVEY
- 1911 HARVEY

K-9

Robert J. Lovero
Mayor



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THOMAS J. PAVLIK
CITY CLERK

Date: June 4, 2010

Mayor Lovcro & Members
Of the Berwyn City Council

Re: Block Party 3200 block of Home

Honorable Mayor Lovero & Members of City Council:

Attached, please find a petition for a block party on the 3200 block
Of Home.

The residents request permission to hold the event on July 31, 2010

With a rain date of August 7, 2010. We are aware of the ordinance
regarding block parties and will abide by all of them.

Thank you for your consideration.

Yours truly,

Margaret Paul

Contact person is: Margaret Paul

Address is: _____

Phone number is: _____

****PLEASE RETURN 3-4 WEEKS PRIOR TO DATE REQUESTED****

WE THE UNDERSIGNED RESIDENTS OF THE 3200 BLOCK OF HOME AVE

DO HEREBY REQUEST PERMISSION TO CONDUCT A BLOCK PARTY ON July 31, 2010

BETWEEN THE HOURS OF 9:00 AM AND 9:00 pm, OUR RAIN DATE IS August 7, 2010

ALL REFUSE MUST BE PLACED IN PROPER CONTAINERS FOR PICKUP BY CLEARING DISPOSAL**

NAME

ADDRESS

3225 S. HOME AVE
3225 S. Home 642-0170
3025 Home Ave.
nth 3225 Home ave
3210 Home Ave.
3217. Home.
3222 S. Home
1. 3225 S. Home (Berwyn Ill, 60410. (317-50657))
3210 Home
3224 S. Home Avenue
3218 s. HOME
3218 Home
3225 Home Ave
3224 S Home Ave
3218 Home Ave
3219 Home Ave.
320 HOME AVE.
3213 Home Ave
3211 Home Ave.
3211 Home Ave.
3201 Home Ave

KR

Robert J. Lovero
Mayor



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www.berwyn-il.gov

THOMAS J. PAVLIK
CITY CLERK

Date: June 4, 2010

Mayor Lovero & Members
Of the Berwyn City Council

Re: Block Party 3200 block of Wenonah Ave.

Honorable Mayor Lovero & Members of City Council:

Attached, please find a petition for a block party on the 3200 block
Of Wenonah Ave.

The residents request permission to hold the event on July 2nd & July 3rd
With a rain date of _____ We are aware of the ordinance

regarding block parties and will abide by all of them.

Thank you for your consideration.

Yours truly,

Roberta Medicott

Contact person is: Roberta Medicott

Address is: _____

Phone number is: _____

****PLEASE RETURN 3-4 WEEKS PRIOR TO DATE REQUESTED****

WE THE UNDERSIGNED RESIDENTS OF THE 3200 BLOCK OF Wenonah
 DO HEREBY REQUEST PERMISSION TO CONDUCT A BLOCK PARTY ON July 2 + July 3
 BETWEEN THE HOURS OF 9 AND 9, OUR RAIN DATE IS _____
 ALL REFUSE MUST BE PLACED IN PROPER CONTAINERS FOR PICKUP BY CLEARING DISPOSAL**

NAME	ADDRESS
	3209 Wenonah
	3209 WENONAH
	3218 Home
	3218 Home
	3221 Wenonah
	3231 WENONAH
	3231 Wenonah
	3227 Wenonah
	3208 Wenonah
	3208 Wenonah
	3238 WENONAH
	3238 Wenonah
	3214 Wenonah
	3215 Wenonah
	3215 Wenonah
	3218 Wenonah
	3218 Wenonah
	3200 Wenonah
	3200 WENONAH
	3200 Wenonah
	3225 WENONAH AVE
	3226 WENONAH
	3226 Wenonah
	3229 Wenonah

K
/

FitzGerald's Night Club

6615 W. Roosevelt
Berwyn, IL 60402
USA

Phone: 708-788-2118
Fax: 708-788-6965
Email: info@fitzgeraldsnightclub.com
Website:
http://www.fitzgeraldsnightclub.com

Fax Cover Sheet

Send to: 788-2675	From: Luisa Berardi On behalf of Bill FitzGerald
Attention: Louise Deputy Clerk	Office location:
Office location:	Date: 5-26-10
Fax number:	Phone number:

URGENT REPLY ASAP PLEASE COMMENT PLEASE REVIEW FOR YOUR INFORMATION

TOTAL PAGES, INCLUDING COVER: 1

Comments:

Here is the information regarding the outdoor concert on June 3rd.

Thursday, June 3 - Tributosaurus becomes The Beatles: Vol. 2, 7:30pm, \$15 TW/advance tickets. [POP/TRIBUTE]
Celebrate the 1st day of summer vacation with a special outdoor concert!
Families welcome! Under 21 must be accompanied by a parent.

The performance is scheduled to end by 10:30pm. It will be located under our tent in our parking lot.
Please call Bill directly at 708-969-2118 if you have any further questions or concerns.

Thank you,
-Luisa



BERWYN MAIN STREET

Shop • Dine • Explore Cermak Road

Thursday, June 03, 2010

Hon. Robert J. Lovero
Alderman of the Berwyn City Council
6700 W. 26th Street
Berwyn, IL 60402

RE: Cermak sidewalk sale

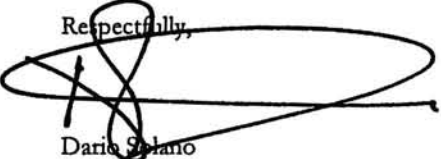
Ladies and Gentlemen:

The Berwyn Main Street mission is to stimulate and promote the revitalization and preservation of the Cermak Road corridor while fostering economic development and encouraging community partnerships. Our Promotions Committee would like to have the second annual "Cermak Sidewalk Sale". This event is to be held on the following dates:

June 25-27, 2010
July 15-18, 2010
August 19-22
September 24-26, 2010

Berwyn Main Street believes this event will attract more shoppers to our district and help boost sales for our retailers. The Berwyn Main Street Promotions Committee is asking for the City of Berwyn's cooperation by approving this request.

Respectfully,



Daris Solano
Executive Director
Berwyn Main Street

BERWYN MAIN STREET

7045 Cermak Road
Berwyn, Illinois 60402

708 484 8000
www.berwynmainstreet.org

An Illinois Main Street Program